

**REGULAR MEETING AGENDA**  
**BOARD OF RECREATION AND PARK COMMISSIONERS**  
**OF THE CITY OF LOS ANGELES**

**Wednesday, April 5, 2017 at 9:00 a.m.**

**TOUR OF THE**  
**SOUTH LOS ANGELES WETLANDS PARK**  
**5413 Avalon Boulevard**  
**Los Angeles, CA 90011**

**Wednesday, April 5, 2017 at 9:30 a.m.**

**South Park Recreation Center Gymnasium**  
**345 East 51<sup>st</sup> Street**  
**Los Angeles, CA 90011**

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SYLVIA PATSAOURAS, PRESIDENT  
LYNN ALVAREZ, VICE PRESIDENT  
MELBA CULPEPPER, COMMISSIONER  
PILAR DIAZ, COMMISSIONER  
MISTY M. SANFORD, COMMISSIONER

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EVERY PERSON WISHING TO ADDRESS THE COMMISSION MUST COMPLETE A SPEAKER'S REQUEST FORM AT THE MEETING AND SUBMIT IT TO THE COMMISSION EXECUTIVE ASSISTANT PRIOR TO THE BOARD'S CONSIDERATION OF THE ITEM.

PURSUANT TO COMMISSION POLICY, COMMENTS BY THE PUBLIC ON AGENDA ITEMS WILL BE HEARD ONLY AT THE TIME THE RESPECTIVE ITEM IS CONSIDERED, FOR A CUMULATIVE TOTAL OF UP TO FIFTEEN (15) MINUTES FOR EACH ITEM. ALL REQUESTS TO ADDRESS THE BOARD ON PUBLIC HEARING ITEMS MUST BE SUBMITTED PRIOR TO THE BOARD'S CONSIDERATION OF THE ITEM. COMMENTS BY THE PUBLIC ON ALL OTHER MATTERS WITHIN THE SUBJECT MATTER JURISDICTION OF THE BOARD WILL BE HEARD DURING THE "GENERAL PUBLIC COMMENT" PERIOD OF THE MEETING. EACH SPEAKER WILL BE GRANTED TWO MINUTES, WITH FIFTEEN (15) MINUTES TOTAL ALLOWED FOR PUBLIC PRESENTATION.

1. CALL TO ORDER AND TOUR OF SOUTH LOS ANGELES WETLANDS PARK

A Tour of the South Los Angeles Wetlands Park will begin at the parking lot located within the wrought iron gates at 5413 Avalon Boulevard at 54<sup>th</sup> Street, Los Angeles, CA 90011.

After the Tour, the following Agenda items are to be considered at South Park Recreation Center

2. ADJOURNMENT OF TOUR

3. CALL TO ORDER AND SPECIAL PRESENTATIONS

- Special Introduction and Opening Remarks by Councilmember Curren D. Price, Jr.'s Office, Ninth Council District
- Introduction of South Park Recreation Center Staff

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4. APPROVAL OF THE MINUTES

- Approval of Minutes for the Regular Meeting of March 15, 2017
- Approval of Minutes for the Special Meeting of March 22, 2017

5. NEIGHBORHOOD COUNCIL COMMENTS

- Discussion with Neighborhood Council Representatives on Neighborhood Council Resolutions or Community Impact Statements Filed with the City Clerk Relative to Any Item Listed or Being Considered on this Board of Recreation and Park Commissioners Meeting Agenda (Los Angeles Administrative Code 22.819; Ordinance 184243)

6. BOARD REPORTS

CONTINUED BOARD REPORT

- 17-077 Revised Lafayette Park – Proposed Arts and Recreation Center – Lease Agreement with HOLA Community Partners for the Construction and Operation of an Arts and Recreation Center; Final Construction Plans and Categorical Exemption from the California Environmental Quality Act (CEQA) Pursuant to Section 15332 of the State CEQA Guidelines (Urban In-Fill)
- 17-078 Greek Theatre Advisory Committee Appointments
- 17-079 109<sup>th</sup> Street Pool and Bathhouse Replacement Project (PRJ1501P) (W.O. #E1906494) – Release of Stop Payment Notice on Construction Contract No. 3462
- 17-080 Angels Gate Park – Gaffey Street Pool – Naming Gaffey Street Pool as Hey Rookie Pool; Categorical Exemption from the California Environmental Quality Act, Pursuant to Article III, Section 1, Class 11 (1) of the City CEQA Guidelines (Modifications of an Existing Park Facility with No Expansion of Use)
- 17-081 Banning High School Pool – Swimming Pool Mechanical Systems Improvements (PRJ21121) Project – Allocation of Quimby Fees; Categorical Exemption from the California Environmental Quality Act (CEQA) Pursuant to Article III, Section 1, Class 1(1,4) of the City CEQA Guidelines (Alterations Involving Remodeling with Negligible or No Expansion of Use and Rehabilitation of Deteriorated Mechanical Equipment to Meet Current Standard of Public Health)
- 17-082 Cleveland High School Pool – Swimming Pool Mechanical Systems Improvements (PRJ21123) Project; Allocation of Quimby Fees – Categorical Exemption from the California Environmental Quality Act (CEQA) Pursuant to Article III, Section 1, Class 1(1,4) of the City CEQA Guidelines (Alterations Involving Remodeling with Negligible or No Expansion of Use and Rehabilitation of Deteriorated Mechanical Equipment to Meet Current Standard of Public Health)

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- 17-083 El Sereno Recreation Center – Swimming Pool Mechanical Systems Improvements (PRJ20513) Project – Allocation of Quimby Fees; Categorical Exemption from the California Environmental Quality Act (CEQA) Pursuant to Article III, Section 1, Class 1(1,4) of the City CEQA Guidelines (Alterations Involving Remodeling with Negligible or No Expansion of Use and Rehabilitation of Deteriorated Mechanical Equipment to Meet Current Standard of Public Health)
- 17-084 Glassell Park – Swimming Pool Mechanical Systems Improvements (PRJ21120) Project – Allocation of Quimby Fees – Categorical Exemption from the California Environmental Quality Act (CEQA) Pursuant to Article III, Section 1, Class 1(1,4) of the City CEQA Guidelines (Alterations Involving Remodeling with Negligible or No Expansion of Use and Rehabilitation of Deteriorated Mechanical Equipment to Meet Current Standard of Public Health)
- 17-085 Hubert H. Humphrey Memorial Park – Swimming Pool Mechanical Systems Improvements (PRJ21122) Project – Allocation of Quimby Fees – Categorical Exemption from the California Environmental Quality Act (CEQA) Pursuant to Article III, Section 1, Class 1(1,4) of the City CEQA Guidelines (Alterations Involving Remodeling with Negligible or No Expansion of Use and Rehabilitation of Deteriorated Mechanical Equipment to Meet Current Standard of Public Health)
- 17-086 Vesting Tentative Tract (VTT) No. 74765 – Recommendation to the Advisory Agency for Land Dedication or in-Lieu Park Fee Payment
- 17-087 Strathern Park North Baseball Field Lighting (PRJ21028) (W.O. #E170414F) Project – Approval of Final Plans
- 17-088 Greek Theatre – Transfer Between Revenue Accounts for Fiscal Year 2016-17
- 17-089 Lummis House General Improvements – Proposition A Excess Funds; Authorization to Submit Grant Application; Acceptance of Grant Funds; City Council Resolution and Youth Employment Plan
- 17-090 Rose Hills/El Sereno Recreation Center Rehabilitation Project – Proposition A Excess Funds; Authorization to Submit Grant Application; Acceptance of Grant Funds; City Council Resolution and Youth Employment Plan
- 17-091 MacArthur Park – Permission to Serve Alcoholic Beverages

7. BOARD REPORT PUBLIC COMMENT

Members of the Public Who Wish to Comment on Matters Relevant to the Board Reports

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8. COMMISSION TASK FORCE UPDATES

- Commission Task Force on Concessions Report – President Patsouras and Commissioner Diaz
- Commission Task Force on Facility Repair and Maintenance Report – Commissioners Sanford and Alvarez

9. GENERAL MANAGER'S DEPARTMENT REPORT AND UPDATES

- Various Communications Report
- Informational Report on Department Activities and Facilities

10. GENERAL PUBLIC COMMENT

Members of the Public Who Wish to Comment on Other Matters Not Listed on the Agenda and under the Jurisdiction of the Department of Recreation and Parks

11. COMMISSION BUSINESS

Comments from Commissioners on Matters within the Board's Jurisdiction and Requests by Commissioners to Schedule Specific Future Agenda Items

12. NEXT MEETING

The Regular Meeting of the Board of Recreation and Park Commissioners will be held on Wednesday, April 19, 2017, 9:30 a.m., at EXPO Center Comrie Hall, 3980 South Bill Robertson Lane, Los Angeles, CA 90037.

13. ADJOURNMENT

Under the California State Ralph M. Brown Act, those wishing to make audio recordings of the Commission Meetings are allowed to bring tape recorders or camcorders in the Meeting.

Sign language interpreters, assistive listening devices, or any auxiliary aides and/or services may be provided upon request. To ensure availability, you are advised to make your request at least 72 hours prior to the meeting you wish to attend. For additional information, please contact the Commission Office at (213) 202-2640.

Finalization of Commission Actions: In accordance with City Charter, actions that are subject to Section 245 are not final until the expiration of the next five meeting days of the Los Angeles City Council during which the Council has convened in regular session and if Council asserts jurisdiction during this five meeting day period the Council has 21 calendar days thereafter in which to act on the matter.

Commission Meetings may be heard live over the telephone through the Council Phone system, depending on technological capabilities at the Meeting location. To listen to a Meeting that can be broadcasted live over the telephone, please call one of the following numbers:

|                           |                       |
|---------------------------|-----------------------|
| from Downtown Los Angeles | (213) 621-CITY (2489) |
| from West Los Angeles     | (310) 471-CITY (2489) |
| from San Pedro            | (310) 547-CITY (2489) |
| from Van Nuys             | (818) 904-9450        |

For information, please go to the City's website: <http://ita.lacity.org/ForResidents/CouncilPhone/index.htm>  
Information on Agenda items and audio recordings may be obtained by calling the Commission Office at (213) 202-2640.  
Copies of the Agenda and Reports may be downloaded from the Department's website at [www.laparks.org](http://www.laparks.org).

## REGULAR MEETING MINUTES

### BOARD OF RECREATION AND PARK COMMISSIONERS OF THE CITY OF LOS ANGELES

Wednesday, March 15, 2017

The Board of Recreation and Park Commissioners of the City of Los Angeles convened the Regular Meeting at Balboa Sports Complex Gymnasium at 9:30 a.m. Present were President Patsaouras, Vice President Lynn Alvarez, Commissioner Pilar Diaz and Commissioner Misty Sanford. Also present were Michael A. Shull, General Manager, and Deputy City Attorney IV Mike Dundas.

The following Department staff members were present:

Anthony-Paul Diaz, Executive Officer and Chief of Staff

Vicki Israel, Recreation Services Branch

Cathie Santo Domingo, Superintendent of Planning, Maintenance and Construction Branch

Eleanor Chang, Departmental Chief Accountant IV, Finance and Administrative Services Division

#### CALL TO ORDER AND SPECIAL PRESENTATIONS

Charles Singer, Superintendent of the Valley Region, introduced Department staff and provided background and programming information regarding Balboa Sports Complex.

#### APPROVAL OF MINUTES

Commissioner Alvarez moved that the Board approve the Minutes of the March 1, 2017 Meeting, which was seconded by Commissioner Diaz. There being no objections, the Motion was unanimously approved.

#### NEIGHBORHOOD COUNCIL COMMENTS

There were no comments from the Neighborhood Council Representatives relative to the Agenda Items being considered.

#### BOARD REPORTS

##### 17-065

CABRILLO MARINE AQUARIUM – RENOVATION AND EXPANSION (PRJ21119) PROJECT; ALLOCATION OF QUIMBY FEES

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Meghan Luera, Management Assistant of the Planning, Maintenance and Construction Branch, presented Board Report No. 17-065 for approval the scope of the Cabrillo Marine Aquarium – Renovation and Expansion Project; and authorization of the Department's Chief Accounting Employee to reallocate \$200,000.00 in Quimby Fees, currently allocated to the Cabrillo Marine Aquarium – Building Renovations Project, to the Cabrillo Marine Aquarium – Renovation and Expansion Project.

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17-066

EL SERENO RECREATION CENTER – CLUB HOUSE  
DEMOLITION (PRJ90001) PROJECT – ALLOCATION OF QUIMBY  
FEES – MODIFICATION OF SCOPE OF WORK

Meghan Luera, Management Assistant of the Planning, Maintenance and Construction Branch, presented Board Report No.17-066 for approval of the modified scope of work for the El Sereno Recreation Center – Club House Building Improvements Project, and to change the name of the project to the El Sereno Recreation Center – Club House Demolition (PRJ90001) Project (Project); authorization of the Department’s Chief Accounting Employee to transfer \$225,000.00 in Quimby Fees from Quimby Account No 89460K-00 to El Sereno Recreation Center Account No 89460K-EG; and approval of the allocation of \$225,000.00 in Quimby Fees from El Sereno Recreation Center Account No 89460K-EG for the Project.

The Board and Department staff discussed the current status and revised name of the Project, and the proposed modifications to the initial Project scope to incorporate the demolition and replacement of the Club House building instead of renovating the existing historic Club House building.

17-067

109<sup>TH</sup> STREET RECREATION CENTER – POOL AND  
BATHHOUSE REPLACEMENT (PRJ1501P) (W.O. #E1906464)  
PROJECT – FINAL ACCEPTANCE

Cathie Santo Domingo, Superintendent of Planning, Maintenance and Construction Branch, presented Board Report No. 17-067 for acceptance of the work performed by Simgel Co., Inc. under Contract No. 3462 for the 109<sup>th</sup> Street Recreation Center – Pool and Bathhouse Replacement Project (Project); and authorization of the Department’s Chief Accounting Employee to release all retention monies held under Contract No. 3462 after deducting for any remaining Stop Payment Notices and/or penalties, if any, to Simgel Co., Inc. upon acceptance by the Board.

President Patsouras discussed that a substantial amount of Change Orders were issued for the Project that totaled to \$1.3 million over the initial contract award amount of \$3.9 million, some of which were due to unforeseen circumstances, and noted that excessive amounts of Change Orders should be avoided in future projects.

17-068

SEPULVEDA BASIN RECREATION AREA – MARK TAPER  
INTERGENERATIONAL CENTER – APPROVAL OF PROPOSED  
CHILDCARE FACILITY EXPANSION PROJECT; CATEGORICAL  
EXEMPTION FROM THE CALIFORNIA ENVIRONMENTAL  
QUALITY ACT (CEQA) PURSUANT TO ARTICLE III, SECTION 1,  
CLASS 3(17) (PROJECTS INVOLVING LEASS THAN 15,000  
SQUARE FEE OF INSTITUTIONAL FLOOR SPACE NOT ON A  
HILLSIDE, OR IN A MAPPED AREA OF SEVERE GEOLOGICAL  
HAZARD, OR IN A PALENTOLOGICAL, HISTORICAL,  
ARCHEOLOGICAL OR SEISMIC STUDY AREA) AND CLASS 14  
(MINOR ADDITIONS TO EXISTING SCHOOLS) OF CITY CEQA  
GUIDELINES

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Cid Macaraeg, Senior Management Analyst II of Planning, Maintenance and Construction Branch, presented Board Report No. 17-068 for approval of ONEgeneration's (ONE) proposed Childcare Facility Expansion Project (Project) on a portion of the Sepulveda Basin Recreation Area, currently under lease from the United States Army Corps of Engineers (USACE) and sub-leased to ONE in accordance with Article 9 of the Lease Agreement; and approval of finding that granting approval of the proposed Project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Article III, Section 1, Class 3(17) and Class 14 of the City CEQA guidelines.

The Board and Department staff discussed the displacement of parking spaces at the Project site, ample parking that will remain near the Project site, public access to other recreation areas within the Sepulveda Basin Recreation Area, and the property owned by the USACE that is leased to the Department and sub-leased to ONE for the operation of the Mark Taper Intergenerational Center.

17-069

GRIFFITH OBSERVATORY – DONATION FROM FRIENDS OF THE OBSERVATORY TO SUPPORT THE GRIFFITH OBSERVATORY SCHOOL PROGRAM IN SCHOOL YEAR 2016-2017

Dr. Edwin C. Krupp, Director of Griffith Observatory, presented Board Report No. 17-069 for acceptance of a donation valued at \$175,000.00 from the Friends Of The Observatory (FOTO) to support the Griffith Observatory School Program during the 2016-17 school year; and direction to the Department's Chief Accounting Employee to deposit the funds in the existing special account in Fund 302, Department 89, Account 89843M (Observatory School Program) upon receipt of the funds from FOTO. The Board expressed gratitude for FOTO's donation granted by Burberry.

17-070

LINCOLN PARK RECREATION CENTER – ACCEPTANCE OF DONATION FROM UNIVERSITY OF CALIFORNIA (UCLA) VOLUNTEER CENTER

Sophia Pina-Cortez, Superintendent of the Metro Region, presented Board Report No. 17-070 for acceptance of a donation of materials valued at approximately \$2,767.00 from the UCLA Volunteer Center, in addition to approximately 1,200 volunteer hours, for an improvement project undertaken at Lincoln Park Recreation Center. The Board and Department staff discussed that the UCLA Volunteer Center made the decision to select Lincoln Park Recreation Center as the improvement project site.

17-071

MACARTHUR PARK – MEMORANDUM OF UNDERSTANDING WITH YOUTH POLICY INSTITUTE TO IMPLEMENT AN EVIDENCE-BASED BYRNE CRIMINAL JUSTICE INNOVATION PLANNING AND IMPLEMENTATION GRANT PROJECT WITHIN THE LOS ANGELES PROMISE ZONE

Joel Alvarez, Senior Management Analyst II of the Partnership Division, presented Board Report No. 17-071 for retroactive approval of a Memorandum of Understanding (MOU) between the Department and Youth Policy Institute (YPI) for a proposed three-year project period, from October 1, 2017 to

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September 30, 2020, to be implemented in Years Two and Three of the MOU project period through supplemental grant funding provided to the Department by YPI for youth programs and services at MacArthur Park, after the Year One planning phase is completed; retroactive authorization of the Department's General Manager to execute the MOU; and authorization of the Department's Chief Accounting Employee to establish the necessary account and/or to appropriate funding received within Recreational Program Grant Fund 205 to accept the YPI funds through the proposed MOU.

The Board and Department staff discussed YPI's urgency to have the Department execute the MOU prior to Board approval, the pending financial commitment amounts to be incorporated into the MOU once programming costs are determined at a later date, and the MOU terms which specify the Department's commitments during the life of the Bryne Criminal Justice Innovation grant. The Board requested that Department staff bring the MOU back to the Board with finalized terms. Commissioner Alvarez disclosed that although her work is unrelated to the subject project or any other project being considered during the current Board Meeting, she works with and advises foundations and philanthropic organizations that provide grants to non-profit organizations.

17-072

TRANSFER OF APPROPRIATIONS WITHIN FUND 302 IN THE DEPARTMENT OF RECREATION AND PARKS FOR BUDGETARY ADJUSTMENTS

Charles Wilkie, Senior Management Analyst I of the Finance and Administrative Services Division, presented Board Report No. 17-072 for authorization to transfer appropriations within Recreation and Parks Fund 302 from Fund 302/88, Account 1010 – Salaries, General in the amount of \$3,200,000.00 to the following Accounts:

|  |                      |
|--|----------------------|
| Fund 302/88, Account 1070 – Salaries, As Needed          | \$2,150,000.00       |
| Fund 302/88, Account 1100 – Salaries, Hiring Hall        | \$ 200,000.00        |
| Fund 302/88, Account 1120 – Fringe Benefits, Hiring Hall | \$ 150,000.00        |
| Fund 302/88, Account 3040 – Contractual Services         | \$ 500,000.00        |
| Fund 302/88, Account 8620 – Children's Play Equipment    | <u>\$ 200,000.00</u> |
| Total:   | \$3,200,000.00       |

The Board and Department staff discussed the appropriation amounts needed to cover bus rental costs and children's play equipment maintenance costs for the remainder of Fiscal Year 2016-17.

17-073

GAFFEY STREET POOL – POOL AND NEW BATHHOUSE RESTORATION (PRJ20726) (W.O. #E1907453F) PROJECT – ACCEPTANCE OF STOP PAYMENT NOTICE AND RELEASE OF STOP PAYMENT NOTICE ON CONSTRUCTION CONTRACT NO. 3514 WITH AWI BUILDERS, INC.

Cathie Santo Domingo, Superintendent of the Planning, Maintenance and Construction Branch, presented Board Report No. 17-073 for acceptance of the Stop Payment Notice filed by Foundation Building Materials, LLC. to withhold \$5,456.34 on Construction Contract No. 3514 with AWI Builders, Inc. for the Gaffey Pool – Pool and New Bathhouse Restoration Project (Project) plus an additional sum equal to 25% to defray the costs of litigation in the event of court action; and direction

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to the Department's Chief Accounting Employee to release \$5,456.34 of the amount withheld on Construction Contract No. 3514 for the Project in accordance with the Release of Stop Payment Notice dated February 24, 2017 filed by Foundation Building Materials, LLC.

17-074

CHATSWORTH PARK SOUTH – REHABILITATION PROJECT  
(PRJ20361) (W.O. #E170331F) – RELEASE OF STOP PAYMENT  
NOTICE ON CONSTRUCTION CONTRACT NO. 3528 WITH  
AMERICAN INTEGRATED SERVICES, INC.

Cathie Santo Domingo, Superintendent of the Planning, Maintenance and Construction Branch, presented Board Report No. 17-074 for direction to the Department's Chief Accounting Employee to release \$3,647.14 of the amount withheld on Construction Contract No. 3528 with American Integrated Services, Inc., in accordance with the Request for Release of Stop Notice dated February 16, 2017 from Robertson's, for the Chatsworth Park South – Rehabilitation Project.

17-075

WHITSETT FIELDS PARK – SYNTHETIC TURF  
IMPROVEMENTS (PRJ20757) (W.O. #E170150F) PROJECT –  
RELEASE OF STOP PAYMENT NOTICE ON CONSTRUCTION  
CONTRACT NO. 3542 WITH HORIZONS CONSTRUCTION CO.,  
INT'L., INC.

Cathie Santo Domingo, Superintendent of the Planning, Maintenance and Construction Branch, presented Board Report No. 17-075 to direct the Department's Chief Accounting Employee to release \$19,215.00 of the amount withheld on Construction Contract No. 3542 with Horizons Construction Co. Int'l, Inc., in accordance with the Request for Release of Stop Notice dated February 23, 2017 from Henrik A. Trucking, Inc. for the Whitsett Fields Park – Synthetic Turf Improvements Project.

17-076

CONSIDERATION OF DRAFT ORDINANCE THAT WOULD  
AMEND LOS ANGELES MUNICIPAL CODE SECTION 63.44 IN  
ORDER TO PROTECT THE CIVIL RIGHTS OF TRANSGENDER  
PERSONS

Anthony-Paul Diaz, Executive Officer and Chief of Staff, presented Board Report No. 17-076 for the Board's review of the draft ordinance prepared by the City Attorney's Office to amend Subsection F of Los Angeles Municipal Code (LAMC) Section 63.44 that would allow transgender persons the right to use any bathroom including a gender-segregated multi-occupancy bathroom, locker room, changing or dressing area in park facilities, consistent of their gender identity regardless of the transgender persons' assigned sex. The draft ordinance also contains an urgency clause whereby, upon adoption, the City Council would declare the ordinance to be necessary in order for the City of Los Angeles to protect the civil rights of transgender persons. Pursuant to Council Rule 38, the Board shall review the draft ordinance to present any comments directly to City Council at such time the matter is considered.

Board Report No. 17-076 was corrected to include the reference of Civil Rights in the Title:

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CONSIDERATION OF DRAFT ORDINANCE THAT WOULD AMEND LOS ANGELES MUNICIPAL CODE SECTION 63.44 IN ORDER TO PROTECT THE CIVIL RIGHTS OF TRANSGENDER PERSONS

Board Report No. 17-076 was also amended to delete Recommendation No. 2 on Page 1, and the last paragraph of the Summary on Page 2, as follows:

RECOMMENDATION

~~2. Consider requesting that the City Council, when it meets to consider the draft ordinance, add language to mitigate the fiscal impact of the draft ordinance on the Department of Recreation and Parks (RAP) should the Council adopt the draft ordinance.~~

SUMMARY

~~It is noted that Civil Code Section 51 specifies no construction, alteration, repair, structural or otherwise, or modification of any sort whatsoever, beyond what is otherwise required by other provisions of law, to any new or existing establishment, facility, building, improvement, or any other structure, was contemplated or intended to be required by Civil Code Section 51. Staff recommends the Board consider requesting the Council to incorporate such language into the draft ordinance for the purpose of ensuring the draft ordinance, if adopted by Council, can be implemented without significant monetary cost to RAP.~~

The Board and Department staff discussed Assembly Bill (AB) 1732 which mandates government agencies to identify all single-user toilet facilities, anticipated costs associated with replacing or installing uniform signage upon adoption of the draft ordinance, development of Departmental inventory of single-user toilet facilities to comply with AB 1732, formulation of a Departmental staff training plan, and staff training sessions conducted and scheduled for Recreation Services Branch.

17-077

LAFAYETTE PARK – PROPOSED ARTS AND RECREATION CENTER – LEASE AGREEMENT WITH HOLA COMMUNITY PARTNERS FOR THE CONSTRUCTION AND OPERATION OF AN ARTS AND RECREATION CENTER, FINAL CONSTRUCTION PLANS AND CATEGORICAL EXEMPTION FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO SECTION 15332 OF THE STATE CEQA GUIDELINES [URBAN IN-FILL]

Board Report No. 17-077 was corrected as follows:

The Board Report Title was corrected to strike out the reference to Heart of Los Angeles:

LAFAYETTE PARK – PROPOSED ~~HEART OF LOS ANGELES~~ ARTS AND RECREATION CENTER – LEASE AGREEMENT WITH HOLA COMMUNITY PARTNERS FOR THE CONSTRUCTION AND OPERATION OF AN ARTS AND RECREATION CENTER, FINAL CONSTRUCTION PLANS AND CATEGORICAL EXEMPTION FROM THE CALIFORNIA

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ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO SECTION 15332 OF THE STATE CEQA GUIDELINES [URBAN IN-FILL]

Recommendation No. 1 was corrected to strike out the reference to the HOLA Arts and Recreation Center:

1. Approve a proposed Lease Agreement (Lease), herein included as Attachment 1, between the City of Los Angeles and the HOLA Community Partners (HOLA-CP) for the construction and operation of a Proposed Arts and Recreation Center at Lafayette Park ~~to be called the "HOLA Arts and Recreation Center"~~, subject to the approval of the Mayor, City Council, and City Attorney as to form;

Recommendation No. 4 was corrected to include the execution of the proposed Consent to Leasehold Deed of Trust and Modification of Lease:

4. Authorize the Board President and Secretary to execute the proposed Lease Agreement and Consent to Leasehold Deed of Trust and Modification of Lease upon receipt of the necessary approvals;

Recommendation No. 6 was corrected to include the reference to the proposed Arts and Recreation Center:

6. Approve the final construction plans of the proposed Arts and Recreation Center as described in the Summary of the Report;

Recommendation No. 7 was corrected to accurately reflect Exhibit E:

7. Upon approval of the construction plans, issue a temporary Right-of-Entry Permit to HOLA-CP and/or HOLA-Youth for the proposed construction area depicted in Exhibit H E to allow for the construction of the proposed Arts and Recreation Center Project (Project);

Recommendation No. 9 was corrected to accurately reflect the Notice of Exemption (NOE) to be prepared and filed as follows:

9. Adopt the Notice of ~~Determination~~ Exemption (NOE) to be prepared and filed by the Department of City Planning as the CEQA documentation for the Project.

Cid Macaraeg, Senior Management Analyst II of the Planning, Maintenance and Construction Branch, presented Board Report for approval of the proposed Lease Agreement (Lease), between the City of Los Angeles and the Heart of Los Angeles Community Partners (HOLA-CP) for the construction and operation of a Proposed Arts and Recreation Center at Lafayette Park, subject to the approval of the Mayor, City Council, and City Attorney as to form; approval of a proposed Consent to Leasehold Deed of Trust and Modification of Lease (Lender Consent) between the City of Los Angeles, HOLA-CP, and New Markets Community Capital XXI, LLC in order to obtain financing secured by HOLA-CP's leasehold interest in the proposed project site under the New Markets Tax Credit (NMTC) program, subject to the approval of the Mayor, City Council, and City Attorney as to form; request that the City Council consent to HOLA-CP entering into a proposed

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Sub-Lease Agreement with Heart of Los Angeles Youth, Inc. (HOLA-Youth) pursuant to Section 17.1 of the proposed Lease Agreement to effectuate the subletting of the improvements described in Section 11.1 of the proposed Lease Agreement in order to allow HOLA-CP to obtain NMTC financing under Internal Revenue Code Section 45; approval of the final plans of the proposed Arts and Recreation Center; issuance of a temporary Right-of-Entry Permit to HOLA-CP and/or HOLA-Youth for the proposed construction area depicted in Exhibit E to allow for the construction of the proposed Arts and Recreation Center Project (Project) upon approval the construction plans; adoption of the California Environmental Quality Act (CEQA) exemption determination previously made by the City Planning Department for the Project; approval of the Board's independent finding that the Project is categorically exempt from the provisions of CEQA pursuant to Section 15332 of the State CEQA Guidelines; and adoption of the Notice of Exemption (NOE) to be prepared and filed by the City Planning Department as the CEQA documentation for the Project.

The Board and Department staff discussed the proposed Project site, the capital campaign donations to be used to repay the Bridge loan funds, financing requirements for the New Markets Tax Credit (NMTC) program, and the services and programs provided to the surrounding community by Heart of Los Angeles. The Board expressed concerns regarding the construction of a building in the limited open space within Lafayette Park, community input gathered by the Department, and using the Urban In-Fill CEQA exemption intended for projects consisting of five acres or less. Anthony Brown, Executive Director of Heart of Los Angeles, discussed the community engagement process that involved the participation of various stakeholders including the Regional and Local Neighborhood Oversight Committees, Neighborhood Councils, community members, parents of HOLA program participants, non-profit organizations, youth centers, and City Department representatives. Neil Drucker, Program Manager of the Department of Public Works Bureau of Engineering, further discussed the community engagement process required for the Proposition K Program competitive grant program which includes the involvement of Regional and Local Neighborhood Oversight Committees.

The Board and Department staff also discussed the City Planning Department's CEQA findings for the proposed Project, using the Urban In-Fill CEQA exemption for the Project that may impact other areas of Lafayette Park, the proposed elimination of open space, the replacement of existing palm trees with mature canopy trees, HOLA's challenges with finding open spaces within the surrounding area to accommodate their programming needs, the Department's efforts in searching for open space opportunities around the Koreatown community, environmental impact studies conducted by the City Planning Department based on the Project site acreage, relocation options for the existing picnic area situated in the Project site, and potential implications by postponing Board action.

The Board requested that a Special Meeting be scheduled at Lafayette Park to tour the Project site and continue the consideration of Board Report No. 17-077.

#### BOARD REPORT PUBLIC COMMENT

Public comments were invited for the Board Reports; however, no requests for public comment were submitted.

President Patsouras requested a Motion to approve the Board Reports as presented and Board Report No. 17-076 as corrected, with the exception of Board Report No. 17-077 which was continued for consideration at a later date. Commissioner Sanford moved that the Board Reports be approved, and that the Resolutions recommended in the Reports be thereby approved.

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Commissioner Diaz seconded the Motion. There being no objections, the Motion was unanimously approved.

#### COMMISSION TASK FORCE UPDATES

- Commission Task Force on Concessions Report (Commissioners Patsouras and Diaz)

There was no report for the Commission Task Force on Concessions.

- Commission Task Force on Facility Repair and Maintenance (Commissioners Sanford and Alvarez)

There was no report for the Commission Task Force on Facility Repair and Maintenance.

#### GENERAL MANAGER'S DEPARTMENT REPORT AND UPDATES

- Verbal Report on Aquatics Division Policy Regarding Swim Instruction

Patricia Delgado, Principal Recreation Supervisor of Aquatics Division, provided an overview of the Citywide Learn to Swim Program and the private, semi-private, and group lessons offered at Department-operated pools. Group lessons and parent-child lessons are taught by lifeguards from the pool deck, while the private and semi-private lessons are taught within the water. Group lesson instruction from the deck has the advantage of a greater instructor-to-student ratio, and allows the lifeguard to safely provide instruction to a larger group while having an advantage point to identify necessary corrections among the participants. The success rate for group lesson instruction is approximately 90 percent. A reduction in the instructor-to-student ratio by providing group lesson instruction within the water will significantly increase staffing costs. The City of Los Angeles does not have a swim lesson instructor classification such as other municipalities. The Department offers multiple aquatic activities at its pool facilities; therefore, most pool facilities are not fully dedicated to swim instruction during scheduled hours of operation. Lifeguards that teach the lessons are also responsible for evacuating patrons from the water and responding to aquatic emergencies; therefore, swim instruction from the deck allows for a quicker response time for emergency response. Additional life-saving staff would have to be stationed on the pool deck during swim instruction within the water, which would result in additional operational costs and increased swim lesson fees to be paid by pool patrons. The Board and Department staff discussed the measurement of participant success through progressive levels of swim instruction, dedicated swim lesson instructor classifications in other municipalities, the private lesson fees that cover staffing costs associated with having the lifeguard providing swim instruction within the water, and the class participants that return to successfully complete other levels.

- Verbal Report on Golf Division Strategic Plan and Operations Update

Laura Bauernfeind, Golf Manager, provided an overview of the Department's efforts to implement the recommendations included in the Golf Division Strategic Plan, which was developed by Global Golf Advisors (GGA) and presented to the Board on December 9, 2015. The Board of Referred Powers approved the Department's recommendations to release a Request for Proposals (RFP) for a New Golf Management and Reservation System, which was released to the public on March 1, 2017. In reference to the Pace-of-Play recommendations, tee

March 15, 2017

intervals were increased from six-minute intervals to eight-minute intervals in May 2016, which garnered overwhelming positive response from golfers. Increased marshaling and tee checkers are being considered and implemented as budgeting allows. Department staff and the Golf Advisory Committee have been discussing pace-friendly pin placements, including the potential removal of black tees on weekends to encourage pace-of-play. The non-resident fee premium was eliminated on May 1, 2016 to increase non-resident play on City golf courses, which also garnered overwhelming positive response from golfers. Half cart pricing and increased cart rates were implemented on May 1, 2016. Beginning August 1, 2017, the Department will begin self-operation of the Griffith Park driving range and pro shop. The pro shop model at Griffith Park will subsequently be replicated at Rancho Park, Hansen Dam and Woodley Lakes golf courses. Since all food and beverage concessions are currently under month-to-month agreements, Department staff is working on developing an RFP for all golf food and beverage concessions to be released during the summer of 2017, and assessing the capital improvement needs of all food and beverage facilities. Department staff will be working with the Golf Advisory Committee to identify and prioritize capital improvement needs at each respective facility. The Golf Division is also working with the Department's Film Office to establish Golf facilities as Special Filming Facilities to generate additional revenue, which will be presented for the Board's consideration during the summer season of 2017. Golf Division staff is encouraged to attend both operation and maintenance golf-related educational opportunities, including seminars and training sessions offered by golf associations. In reference to capital improvements, the expansion and resurfacing the Roosevelt parking lot is currently under construction, which will also provide parking for the Greek Theatre. Americans with Disabilities (ADA) improvements to the Roosevelt Golf Course Café and restrooms will begin during the spring season of 2017. The ball containment and improvement of the landing area at the Woodley Lakes driving range, including renovations of the grass tee line, will begin by early April 2017. Work on the new irrigation system at the Roosevelt Golf Course will begin during the fall season of 2017, which is being partially covered by the Los Angeles Department of Water and Power Grant with the State Water Regional Control Board. The Golf Division stopped operating Holmby Park Pony Golf Course as of July 1, 2016, which became the responsibility of the Department's Park Services and Maintenance Divisions. The Golf Division is increasing the number of classes offered at Tregnan Golf Academy to reach out to more youth and generate more revenue, and will actively seek grants, donations, and sponsorship funding for large capital improvement projects and junior golf programs. Department staff is in the process of evaluating the proposals submitted in response to the RFP for Director of Instruction at Tregnan Golf Academy. Golf Manager Bauernfeind also reported on various upcoming Golf events. The Board and Department staff discussed the current operation of Holmby Park Pony Golf Course, the development of an RFP for golf food and beverage concessions that would allow a responder to bid on multiple concession operations at the various City golf courses, the self-operation plan of the Griffith Park driving range and pro shop, and the anticipated timelines to be discussed at the next Concessions Task Force Meeting.

- Verbal Report on National Recreation and Parks Association (NRPA) Innovation Lab – Homelessness Conference and Department Responsibilities

Jimmy Kim, Emergency Management Coordinator II, provided an overview of the NRPA Innovation Lab – Homelessness Conference held on January 25 – 27, 2017 in Los Angeles, and the Department's responsibilities in relation to the City's Comprehensive Homeless Strategy (CHS). The Department was assigned to work on CHS No. 6F to expand public access to

March 15, 2017

restroom facilities; however, the Department is unable to move forward due to budget constraints and Los Angeles Municipal Code (LAMC) Section 63.44 that restricts the Department from opening facilities beyond normal operating hours. Department staff has been working with the Office of the City Administrative Officer (CAO's Office) and the City Attorney's Office to amend LAMC 63.44 in order to give the Department's General Manager the authority to open specific facilities for restroom access. Department staff has also been working with the CAO's Office and Mayor's Homeless Policy Director to identify funding for implementation of CHS No. 6F once LAMC Section 63.44 is amended. Commissioner Sanford requested that the Department develop strategies and train staff to address the impact on the park facilities, other park patrons, and the cleanliness of restroom facilities. A Departmental task force comprised of various Branch/Division staff members will be discussing the hours of operation for expanded restroom access, security services, and maintenance issues.

- General Manager Michael Shull reported on various Department activities, facilities, and upcoming events. The Griffith Observatory DASH Bus Service Press Event is scheduled on March 16, 2017 to announce the launch of DASH shuttle service that will travel between the Metro Red Line Vermont/Sunset Station to the Greek Theatre and Griffith Observatory, and the implementation of paid parking within Griffith Park. The Department has the opportunity to partner with the Los Angeles County Museum of Art (LACMA) and the Los Angeles Philharmonic Association to provide arts and cultural programming in the vacant building located within the South Los Angeles Wetlands Park. A tour of the South Los Angeles Wetlands Park will be scheduled at a later date.
- The Various Communications Report was noted and filed.

#### GENERAL PUBLIC COMMENT

Public comments on matters within the Board's jurisdiction were invited. One request was submitted for public comment regarding the Verbal Report on Golf Division Strategic Plan and Operations, and such comments were made to the Board. A second request for general public comment was submitted, and such comments were made to the Board.

#### COMMISSION BUSINESS

Commissioner Sanford requested a future Agenda item to discuss a reforestation plan to address the effects of the drought, and reported that a tree cabinet meeting was held to discuss policies that the Board could push to assist with urban reforestation efforts that could lead to larger policy and budgetary changes that would take effect in future years.

#### NEXT MEETING

The next scheduled Regular Meeting of the Board of Recreation and Park Commissioners was scheduled to be held on Wednesday, April 5, 2017, 9:30 a.m., EXPO Center Comrie Hall, 3980 South Bill Robertson Lane, Los Angeles, CA 90037. A Special Meeting will also be scheduled at Lafayette Multipurpose Community Center to continue the consideration of Board Report No. 17-077.

March 15, 2017

ADJOURNMENT

There being no further business to come before the Board, President Patsouras adjourned the Meeting at 12:40 p.m.

ATTEST

\_\_\_\_\_  
PRESIDENT

\_\_\_\_\_  
BOARD SECRETARY

## SPECIAL MEETING MINUTES

### BOARD OF RECREATION AND PARK COMMISSIONERS OF THE CITY OF LOS ANGELES

Wednesday, March 22, 2017

The Board of Recreation and Park Commissioners of the City of Los Angeles convened the Special Meeting in the Lafayette Multipurpose Community Center Gymnasium at 9:30 a.m. Present were President Patsouras, Commissioner Melba Culpepper, Commissioner Pilar Diaz, and Commissioner Misty Sanford. Also present were Michael A. Shull, General Manager, and Deputy City Attorney IV Mike Dundas.

The following Department staff members were present:

Anthony-Paul Diaz, Executive Officer and Chief of Staff

Vicki Israel, Recreation Services Branch

Cathie Santo Domingo, Superintendent of Planning, Maintenance and Construction Branch

Eleanor Chang, Departmental Chief Accountant IV, Finance and Administrative Services Division

#### CALL TO ORDER

Kimani Black, Assistant District Director of Councilmember Herb J. Wesson, Jr.'s Office, presented opening remarks and welcomed the Board and audience to the Tenth Council District.

Sophia Pina-Cortez, Superintendent of the Metro Region, introduced Department staff and provided background and programming information regarding the Lafayette Multipurpose Community Center.

#### TOUR OF LAFAYETTE MULTIPURPOSE COMMUNITY CENTER

The Board, Department staff, and other interested parties proceeded to tour the premises of Lafayette Multipurpose Community Center, and returned to the Gymnasium after the tour.

#### NEIGHBORHOOD COUNCIL COMMENTS

There were no comments from the Neighborhood Council Representatives relative to the Agenda Item being considered.

#### BOARD REPORT PUBLIC COMMENT

Public comments were invited for the Board Reports. A total of 15 requests for public comment were submitted and such comments were made to the Board, some of which were translated.

#### BOARD REPORTS

##### 17-077 - REVISED

LAFAYETTE PARK – PROPOSED ARTS AND RECREATION CENTER – LEASE AGREEMENT WITH HOLA COMMUNITY PARTNERS FOR THE CONSTRUCTION AND OPERATION OF AN ARTS AND RECREATION CENTER; FINAL CONSTRUCTION PLANS AND CATEGORICAL EXEMPTION FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO SECTION 15332 OF THE STATE CEQA GUIDELINES (URBAN IN-FILL)

---

March 22, 2017

Cid Macaraeg, Senior Management Analyst II of the Planning, Construction and Maintenance Branch, presented revised Board Report No. 17-077 for approval of a proposed Lease Agreement between the City of Los Angeles and HOLA Community Partners (HOLA-CP) for the construction and operation of a Proposed Arts and Recreation Center at Lafayette Park, subject to the approval of the Mayor, City Council, and City Attorney as to form; approval of a proposed Consent to Leasehold Deed of Trust and Modification of Lease (Lender Consent) between the City of Los Angeles, HOLA-CP, and New Markets Community Capital XXI, LLC, in order to obtain financing secured by HOLA-CP's leasehold interest in the proposed project site under the New Markets Tax Credit (NMTC) program, subject to the approval of the Mayor, City Council, and City Attorney as to form; request that the City Council consent to HOLA-CP entering into a proposed Sub-Lease Agreement with Heart of Los Angeles Youth, Inc. (HOLA-Youth) pursuant to Section 17.1 of the proposed Lease Agreement to effectuate the subletting of the improvements described in Section 11.1 of the proposed Lease Agreement in order to allow HOLA-CP to obtain NMTC financing under Internal Revenue Code Section 45; approval of the final plans of the proposed Arts and Recreation Center; issuance of a temporary Right-of-Entry Permit to HOLA-CP and/or HOLA-Youth for the proposed construction area depicted in Exhibit E to allow for the construction of the proposed Arts and Recreation Center Project (Project) upon approval the construction plans; adoption of the California Environmental Quality Act (CEQA) exemption determination previously made by the City Planning Department for the Project; approval of an independent finding that the Project is categorically exempt from CEQA provisions pursuant to Section 15332 of the State CEQA Guidelines; and adoption of the Notice of Exemption (NOE) to be prepared and filed by the City Planning Department as the CEQA documentation for the Project.

Senior Management Analyst Macaraeg discussed the additional information that was included in the revised Board Report pursuant to the Board's discussion during the March 15, 2017 Board Meeting. Board Report No. 17-077 was further revised to include the following Recommendation to be inserted as Recommendation No. 3 between the existing Recommendation Nos. 2 and 3, and all subsequent Recommendations shall be renumbered in sequential order to accommodate the additional Recommendation:

3. Authorize Department of Recreation and Parks staff, in coordination with the City Attorney, to finalize negotiations of the proposed Lease, Lender Consent, and Sub-Lease Agreement, and to execute the final Lease, Lender Consent, and Sub-Lease Agreement with the general terms and conditions as outlined in the Various Agreements section of this Board Report.

President Patsouras requested that the Article 11.1 – Improvements sections of the proposed Lease Agreement and Sub-Lease Agreement be amended to require the Department's prior approval of all improvements constructed on the premises by HOLA:

11.1 Improvements. All improvements constructed on the Premises by HOLA at any time and from time to time during the Term shall have prior approval by the Department of Recreation and Parks and be owned by HOLA during the Term (including any extension thereof). Upon the expiration or termination of this Lease, HOLA shall surrender the improvements in accordance with the terms and provisions of Article 16 below.

March 22, 2017

The Board and Department staff discussed the differentiation between Heart of Los Angeles Youth, Inc. (HOLA-Youth) which will be responsible for the operation and maintenance of the Project under the proposed Sub-Lease Agreement, and HOLA Community Partners which was established as a 501(c)3 organization to obtain NMTC financing. The Board and Department staff discussed the environmental impact studies conducted by the City Planning Department that were used to make the CEQA exemption determination.

Commissioner Sanford moved that the Board reject the Recommendations, direct the City Attorney to provide instructions as to what environmental review is required; and if environmental review is required, that the environmental review be done and brought back to the Board. The Motion died on the floor due the lack of a Second.

Deputy City Attorney IV Dundas discussed that the City Attorney's Office can provide written advice to the Board regarding the application of the Urban In-Fill CEQA exemption for this Project as attorney-client privileged information, which cannot be discussed in open session.

Board Report No. 17-077 was continued for consideration to the April 5, 2017 Board Meeting so that written advice from the City Attorney's Office regarding the CEQA exemption can be distributed to the Board Members.

GENERAL PUBLIC COMMENT

Public comments on matters within the Board's jurisdiction were invited; however, no requests were submitted.

NEXT MEETING

The next Meeting of the Board of Recreation and Park Commissioners was scheduled to be held on Wednesday, April 5, 2017, 9:30 a.m., at South Park Recreation Center Gymnasium, 345 East 51<sup>st</sup> Street, Los Angeles, CA 90011.

ADJOURNMENT

There being no further business to come before the Board, President Patsouras adjourned the Meeting at 11:00 a.m.

ATTEST

\_\_\_\_\_  
PRESIDENT

\_\_\_\_\_  
BOARD SECRETARY



**BOARD REPORT**

NO. 17-078

DATE: April 05, 2017

C.D. ALL

**BOARD OF RECREATION AND PARK COMMISSIONERS**

SUBJECT: GREEK THEATRE ADVISORY COMMITTEE APPOINTMENTS

|            |       |             |       |
|------------|-------|-------------|-------|
| *AP Diaz   | _____ | V. Israel   | _____ |
| R. Barajas | _____ | N. Williams | _____ |
| H. Fujita  | _____ |             |       |

  
 \_\_\_\_\_  
 General Manager

Approved \_\_\_\_\_ Disapproved \_\_\_\_\_ Withdrawn \_\_\_\_\_

RECOMMENDATIONS

1. Approve Mayor Eric Garcetti's appointment of Chris Laib to serve on the Greek Theatre Advisory Committee for a term ending April 29, 2019, herein included as Attachment 1; and,
2. Approve Mayor Eric Garcetti's appointment of Jon Deutsch to serve on the Greek Theatre Advisory Committee for a term ending April 29, 2019, herein included as Attachment 2.

SUMMARY

The Greek Theatre Advisory Committee (GTAC) is a nine-member advisory panel charged with making recommendations regarding the Greek Theatre's programming and expenditure of funds, and working with the Greek Theatre's Operator to establish community involvement and cultural development. The Board of Recreation and Park Commissioners (Board) approves the appointments of each GTAC Member as made by the Mayor of the City of Los Angeles. The GTAC appointments being presented herein for the Board's approval shall fill two vacant seats of the GTAC.

*Chris Laib*

Mayor Garcetti has appointed Chris Laib to the GTAC for the term ending April 29, 2019, subject to the Board's approval. Mr. Laib is a realtor that resides within the Los Feliz community. He currently serves on various Boards of Directors including the Friends Of The Observatory, Los Feliz Improvement Association, Los Angeles County Animal Care Foundation, and the Griffith Park Advisory Board. Mr. Laib also serves as a member of the Fourth Council District (CD 4) Discretionary Fund Advisory Committee.

## BOARD REPORT

PG. 2 NO. 17-078

### *Jon Deutsch*

Mayor Garcetti has appointed Jon Deutsch to the GTAC for the term ending April 29, 2019, subject to the Board's approval. Mr. Deutsch is a comedy writer and director with experience in major motion pictures, television, web series, concerts, and theatrical productions. He also worked as an intern for former Senator Hillary Rodham Clinton and Congresswoman Nita Lowey. Mr. Deutsch currently serves as the Vice President of Communications for the Los Feliz Neighborhood Council (LFNC), and has worked on various community issues as a member of the LFNC such as improving pedestrian safety and access to Griffith Park and the Greek Theatre.

### FISCAL IMPACT STATEMENT

The approval of GTAC Member appointments has no fiscal impact on RAP's General Fund.

This Report was prepared by Armando Bencomo, Commission Executive Assistant II, Innovation, Technology, and Community Engagement Division – Board Office Operations.

### LIST OF ATTACHMENTS

- 1) Mayor Garcetti's Appointment Letter for Chris Laib
- 2) Mayor Garcetti's Appointment Letter for Jon Deutsch



**ERIC GARCETTI**  
**MAYOR**

January 24, 2017

The Board of Recreation and Park Commissioners  
221 N. Figueroa Street, Suite 300  
Los Angeles, CA 90012

Dear Board of Recreation and Park Commissioners,

Subject to your confirmation, I have appointed Mr. Chris Laib to the Greek Theater Advisory Committee for the term ending April 29, 2019.

I certify that in my opinion Mr. Laib is especially qualified by reason of training and experience for the work that shall devolve upon him and that I make the appointment solely in the interest of the City.

Sincerely,

A handwritten signature in black ink, appearing to read 'E. Garcetti'.

ERIC GARCETTI  
Mayor

Attachment

cc: David Ryu, Councilmember of the 4<sup>th</sup> District  
Mike Shull, General Manager of Department of Recreation and Parks  
Barbara Romero, Deputy Mayor of City Services

## Chris Laib

**Community Involvement Bio:***-Perspective regarding Greek Theatre:*

First and foremost, the Greek is a treasured and historic asset in our community. I have been quite active in promotion of peaceful co-existence between neighbors and the impact of concerts in the neighborhood. I believe that we need to be sensitive to the unique circumstances of an outdoor theatre in a dense residential neighborhood. That said, the Greek is a valuable revenue and cultural resource for the recreation and parks department and its efforts to maintain and supply programming in our city parks.

*Community involvement*

|               |   |
|---------------|---|
| -2008-current | Director, Friends of the Observatory                |
| -2001-current | Director, Los Feliz Improvement Association         |
| -2013-2016    | President, Los Feliz Improvement Association        |
| -2007-current | Director, Los Angeles County Animal Care Foundation |
| -2014-current | Director, Griffith Park Advisory Board              |
| -2015-current | Member of CD4 Discretionary Fund Advisory Committee |

*Education*

|                   |                       |
|-------------------|-----------------------|
| -1975-1981        | UC San Diego          |
| Political Science | Bachelor of Fine Arts |

*Personal*

Realtor since 1989. Live with partner in historic home on edge of Griffith Park Golf, hiking and running are recreation interests



**ERIC GARCETTI**  
**MAYOR**

March 3, 2017

The Board of Recreation and Park Commissioners  
221 N. Figueroa Street, Suite 300  
Los Angeles, CA 90012

Dear Board of Recreation and Park Commissioners,

Subject to your confirmation, I have appointed Mr. Jon Deutsch to the Greek Theater Advisory Committee for the term ending April 29, 2019.

I certify that in my opinion Mr. Deutsch is especially qualified by reason of training and experience for the work that shall devolve upon him and that I make the appointment solely in the interest of the City.

Sincerely,

A handwritten signature in black ink, appearing to read 'E. Garcetti'.

ERIC GARCETTI  
Mayor

Attachment

cc: David Ryu, Councilmember of the 4<sup>th</sup> District  
Mike Shull, General Manager of Department of Recreation and Parks  
Barbara Romero, Deputy Mayor of City Services

## Jon Deutsch

A comedy writer/ director with experience in major motion pictures, television, and web series, Jon has made his home in Los Feliz since moving to Los Angeles 9 years ago. His work has been covered and reviewed in *The Hollywood Reporter*, *The Onion's AV Club*, and *TIME*.

After receiving his B.A. in political science at Georgetown University, Jon moved to Los Angeles where he studied at the University of Southern California completing a M.F.A. in film and television production. He has worked with all types, from Oscar-winning actors to backwoods animal hunters; celebrity chefs to Grammy winners. In addition to directing for the screen he has also directed several concerts and theatrical productions.

In 2016, Jon was elected to the Los Feliz Neighborhood Council, where he now serves as the Vice President of Communications. As a member of the LFNC, Jon has worked to improve pedestrian safety, promote small businesses, and improve access to Los Feliz's priceless attractions including Barnsdall Art Park, Griffith Park, and the Greek Theatre. Jon's previous stints in government service include interning for former Senator Hillary Rodham Clinton and Congresswoman Nita Lowey.

In his spare time, Jon enjoys exploring Los Angeles, hiking in Griffith Park, performing civil marriage ceremonies as a volunteer for the County of Los Angeles, and rooting on his adopted Dodgers.

**BOARD REPORT**

NO. 17-079

DATE April 05, 2017

C.D. 15

**BOARD OF RECREATION AND PARK COMMISSIONERS**

SUBJECT: 109<sup>TH</sup> STREET POOL AND BATHHOUSE REPLACEMENT PROJECT (PRJ1501P) (W.O. #E1906494) – RELEASE OF STOP PAYMENT NOTICE ON CONSTRUCTION WITH SIMGEL COMPANY, INC., CONTRACT NO. 3462

|             |            |             |       |
|-------------|------------|-------------|-------|
| AP Diaz *   | _____      | V. Israel   | _____ |
| *R. Barajas | <u>CBP</u> | N. Williams | _____ |
| H. Fujita   | _____      |             |       |

  
 \_\_\_\_\_  
 General Manager

Approved \_\_\_\_\_ Disapproved \_\_\_\_\_ Withdrawn \_\_\_\_\_

RECOMMENDATION

Direct the Department of Recreation and Parks' (RAP) Chief Accounting Employee to release Fifteen Thousand, Four Hundred Fifty-One Dollars, and Twenty Cents (\$15,451.20) of the amount withheld on Construction Contract No. 3462 with Simgel Company, Inc., in accordance with the Request for Release of Stop Notice dated October 16, 2016 from Robertson's herein included as Attachment 1, for the 109<sup>th</sup> Street Pool and Bathhouse Replacement (PRJ1501P) (W.O. #E1906494) Project.

SUMMARY:

RAP is in receipt of Release of Stop Payment Notice filed by the claimant below, which releases the Board from any and all liability for withholding funds from the general contractors or the sureties:

Contract 3462            CD 15

|  |                     |                      |
|--|---------------------|----------------------|
| 109 <sup>th</sup> Street Pool And Bathhouse Replacement<br>Project (PRJ1501P) (W.O. #E1906494) | General Contractor: | Simgel Company, Inc. |
| Construction Status: Completed   | Claimant:           | Robertson's          |
| Project Impact: none   | Amount:             | \$15,451.20          |

FISCAL IMPACT STATEMENT:

Acceptance of Stop Payment Notices has no impact on the RAP's General Fund.

This Report was prepared by Iris Davis, Commission Executive Assistant I.

BOARD REPORT

PG. 2 NO. 17-079

LIST OF ATTACHMENTS

- 1) Release of Stop Payment Notice filed by Robertson's

Agenda 16241

RELEASE OF STOP NOTICE

TO: CITY OF L.A  
1149 S. BROADWAY 8TH FL LOS ANGELES

You are hereby notified that the undersigned claimant releases that certain Stop Notice dated 09/14/16, in the amount of 15,451.20 against CITY OF L.A as owner or public body and EMANUEL SASOONES as prime contractor in connection with the work of improvement known as 1431 E 109TH ST in the City of LOS ANGELES County of LOS ANGELES State of California.  
Date 10/01/16

Name of Claimant Robertson's

By Walter May  
Authorized Agent

VERIFICATION

I, the undersigned, state: I am the Agent of the claimant named in the foregoing Release; I have read said Release of Stop Notice and know the contents thereof, and I certify that the same is true of my own knowledge.

I certify (or declare) under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

Executed on 10/12/16, at Corona, California.

Walter May  
(Signature of Claimant or Authorized Agent)

76630/18



**BOARD REPORT**

NO. 17-080

DATE April 05, 2017

C.D. 15

**BOARD OF RECREATION AND PARK COMMISSIONERS**

SUBJECT: ANGELS GATE PARK – GAFFEY STREET POOL – NAMING GAFFEY STREET POOL AS HEY ROOKIE POOL; CATEGORICAL EXEMPTION FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT, PURSUANT TO ARTICLE III, SECTION 1, CLASS 11 (1) OF THE CITY CEQA GUIDELINES (MODIFICATIONS OF AN EXISTING PARK FACILITY WITH NO EXPANSION OF USE))

|            |                             |                   |
|------------|-----------------------------|-------------------|
| <i>for</i> | AP Diaz _____               | V. Israel _____   |
|            | *R. Barajas <i>CB</i> _____ | N. Williams _____ |
|            | H. Fujita _____             |                   |

*[Signature]*  
 \_\_\_\_\_  
 General Manager

Approved \_\_\_\_\_ Disapproved \_\_\_\_\_ Withdrawn \_\_\_\_\_

RECOMMENDATIONS

1. Name Gaffey Street Pool as "Hey Rookie Pool";
2. Authorize the installation of appropriate signage;
3. Find the project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA), pursuant to Article III, Section 1, Class 11 (1) and Class 11 (1) of the City CEQA guidelines, and direct Department of Recreation and Parks (RAP) staff to file a Notice of Exemption; and,
4. Authorize the Department of Recreation and Parks' (RAP) Chief Accounting Employee to prepare a check to the Los Angeles County Clerk in the amount of Seventy-Five Dollars (\$75.00) for the purpose of filing a Notice of Exemption.

SUMMARY:

Angels Gate Park is located in the San Pedro community at 3601 Gaffey Street and contains Gaffey Street Pool, which is located at 3351 Gaffey Street. This feature is currently designated Gaffey Street Pool in keeping with Department of Recreation and Parks' (RAP) policy of assigning temporary names for administrative purposes but has never undergone a community-driven naming process.

Gaffey Street Pool is currently undergoing renovations. The pool has been shuttered since the early 1990's when it was drained and closed due to deterioration. Over Ten Million Dollars (\$10,000,000.00) has been allocated from various sources (Harbor Department, Proposition K, RAP) to this pool and bathhouse renovation project, which is scheduled to be completed in

## BOARD REPORT

PG. 2 NO. 17-080

Spring, 2017. The local community has had opportunity to provide input on this renovation project. One request heard from the Community repeatedly is that the pool, when reopened, should revert back to its historic name of Hey Rookie Pool.

In 1942, Fort MacArthur Garrison soldiers wrote and produced "Hey Rookie", a stage show that ran for nine months at the Belasco Theatre before being sent overseas. The "Hey Rookie" swimming pool was built in 1943 with funds generated by the "Hey Rookie" show. Once built, the pool continued the public service of the "Hey Rookie" show by providing an entertainment venue for various aquatic shows called Aquacades and serving as an aquatic training venue for soldiers. In the postwar years, the pool was used as a recreation facility for the public and for soldiers of the Fort. In 1965, the property was leased by the Secretary of the Army to RAP, which lease remained in place until the property was eventually declared surplus and acquired by RAP. The pool is not referred to by name by the Army in the original lease and has been referred to by RAP as Gaffey Pool and Gaffey Street Pool. To date, the Board of Recreation and Park Commissioners (Board) has not taken an action to officially name the pool.

RAP's staff has evaluated the proposed naming and finds it to be in compliance with the Board adopted Policy, Procedures and Guidelines for Parks and Recreational Facilities as the name Hey Rookie Pool is the historic name of the feature, is neutral in connotation, and is representative of a unique feature of the community of San Pedro.

Park signage is included in the construction budget. It is not anticipated that additional funds will be required.

RAP management and staff are in support with the recommendations. This proposal was reviewed by the Facility Repair and Maintenance Task Force at their March 1, 2017 meeting, at which time it was recommended that the proposal be forwarded to the full Commission for consideration.

### ENVIRONMENTAL IMPACT STATEMENT

The proposed project involves minor construction of an on-premises sign for the purpose of renaming the pool, which is accessory to the park. Therefore, staff recommends that the Board determine that the subject project is categorically exempt from the provisions of CEQA pursuant to Article III, Section 1, Class 11 (1) of the City CEQA Guidelines. A Notice of Exemption will be filed with the Los Angeles County Clerk within five (5) working days of the Board's approval.

### FISCAL IMPACT STATEMENT

There shall be no fiscal impact to RAP's General Fund for the naming of this Pool as the signage is included in the construction project.

This Report was prepared by Melinda Gejer, City Planning Associate, Planning, Maintenance and Construction Branch.

BOARD REPORT

PG. 3 NO. 17-080

List of Attachment

A) Gaffey Pool within Angels Gate Park

# Gaffey Pool within Angeles Gate Park



**BOARD REPORT**

NO. 17-081

DATE April 05, 2017

C.D. 15

**BOARD OF RECREATION AND PARK COMMISSIONERS**

SUBJECT: BANNING HIGH SCHOOL POOL – SWIMMING POOL MECHANICAL SYSTEMS IMPROVEMENTS (PRJ21121) PROJECT – ALLOCATION OF QUIMBY FEES; CATEGORICAL EXEMPTION FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO ARTICLE III, SECTION 1, CLASS 1(1,4) OF THE CITY CEQA GUIDELINES (ALTERATIONS INVOLVING REMODELING WITH NEGLIGIBLE OR NO EXPANSION OF USE AND REHABILITATION OF DETERIORATED MECHANICAL EQUIPMENT TO MEET CURRENT STANDARD OF PUBLIC HEALTH)

AP Diaz \_\_\_\_\_

V. Israel \_\_\_\_\_

*fws*

R. Barajas CSD

N. Williams \_\_\_\_\_

H. Fujita \_\_\_\_\_

  
\_\_\_\_\_  
General Manager

Approved \_\_\_\_\_

Disapproved \_\_\_\_\_

Withdrawn \_\_\_\_\_

RECOMMENDATIONS

1. Approve the scope of work for the Banning High School Pool – Swimming Pool Mechanical Systems Improvements (PRJ21121) Project, as described in the Summary of this Report;
2. Authorize the Department of Recreation and Parks' (RAP) Chief Accounting Employee to transfer One Hundred Eighty Thousand Dollars (\$180,000.00) in Quimby Fees from Quimby Account No. 89460K-00 to Banning High School Pool Account No. 89460K-BX;
3. Approve the allocation of One Hundred Eighty Thousand Dollars (\$180,000.00) in Quimby Fees from Banning High School Pool Account No. 89460K-BX for the Banning High School Pool – Swimming Pool Mechanical Systems Improvements (PRJ21121) Project;
4. Find that the proposed Banning High School Pool – Swimming Pool Mechanical Systems Improvements (PRJ21121) Project is categorically exempt from the California Environmental Quality Act (CEQA), and direct staff to file a Notice of Exemption;
5. Authorize the RAP's Chief Accounting Employee to prepare a check to the Los Angeles County Clerk in the amount of Seventy-Five Dollars (\$75.00) for the purpose of filing a Notice of Exemption; and,
6. Authorize the RAP's Chief Accounting Employee to make technical corrections as necessary to carry out the intent of this Report.

## BOARD REPORT

PG. 2 NO. 17-081

### SUMMARY

Banning High School Pool is located at 1450 North Avalon Boulevard in the Wilmington area of the City. This 0.50 acre facility is operated by RAP under a joint-use agreement with the Los Angeles Unified School District, which expires in March 2032. The facility provides a competitive swimming pool, as well as a variety of programs, activities, and classes for the surrounding community. Approximately Four Thousand Seven Hundred Eight (4,708) City residents live within a one-half (1/2) mile walking distance of Banning High School Pool. Due to its facilities and features, and the programs and services provided on site, Banning High School Pool meets the standard for a Community Park, as defined in the City's Public Recreation Plan.

### PROJECT SCOPE

The Banning High School Pool – Swimming Pool Mechanical Systems Improvements (PRJ21121) Project proposes to improve to the swimming pool mechanical systems, including the replacement of the pool heaters.

RAP's staff estimates these improvements will cost approximately One Hundred Eighty Thousand Dollars (\$180,000.00).

### PROJECT FUNDING

Upon approval of this Report, One Hundred Eighty Thousand Dollars (\$180,000.00) in Quimby Fees from Quimby Account No. 89460K-00 can be transferred to the Banning High School Pool Account No. 89460K-BX and allocated to the Banning High School Pool – Swimming Pool Mechanical Systems Improvements (PRJ21121) Project.

These Quimby Fees were collected within five (5) miles of Banning High School Pool, which is the standard distance for the allocation of the Quimby Fees for community recreational facilities pursuant to Los Angeles Municipal Code Section 12.33 E.3.

### FUNDING SOURCE MATRIX

| <b>Source</b> | <b>Fund/Dept/Acct</b> | <b>Amount</b> | <b>Percentage</b> |
|---------------|-----------------------|---------------|-------------------|
| Quimby Fees   | 302/89/89460K-BX      | \$180,000.00  | 100%              |
| <b>Total</b>  |                       | \$180,000.00  | 100%              |

### PROJECT CONSTRUCTION

RAP's staff has determined that sufficient funding has been identified for the construction of the Banning High School Pool – Swimming Pool Mechanical Systems Improvements (PRJ21121) Project.

Construction of the Banning High School Pool – Swimming Pool Mechanical Systems Improvements (PRJ21121) Project is currently anticipated to begin in April 2017.

BOARD REPORT

PG. 3 NO. 17-081

TREES AND SHADE

The approval of this project will have no impact on existing trees or shade at Banning High School Pool. No new trees or new shade are proposed to be added to Banning High School Pool as a part of this Project.

ENVIRONMENTAL IMPACT STATEMENT

The proposed project consists of modifications to existing park facilities involving negligible or no expansion of use and the restoration or rehabilitation of facilities or mechanical equipment and systems to meet current standards of public health and safety. Therefore, RAP's Staff recommends that the Board of Recreation and Park Commissioners' determine that the Project is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Article III, Section 1, Class 1(1,4) of the City CEQA Guidelines. A Notice of Exemption will be filed with the Los Angeles County Clerk upon approval of by the Board.

FISCAL IMPACT STATEMENT

The approval of this allocation of Quimby Fees will have no fiscal impact on RAP's General Funds.

The estimated costs for the design, development, and construction of the proposed park improvements are anticipated to be funded by Quimby Fees or funding sources other than the RAP's General Fund. The maintenance of the proposed park improvements can be performed by current staff with minimal impact to existing maintenance service at this facility.

This Report was prepared by Meghan Luera, Management Assistant, Planning, Maintenance and Construction Branch.



**BOARD REPORT**

NO. 17-082

DATE April 05, 2017

C.D. 3

**BOARD OF RECREATION AND PARK COMMISSIONERS**

SUBJECT: CLEVELAND HIGH SCHOOL POOL – SWIMMING POOL MECHANICAL SYSTEMS IMPROVEMENTS (PRJ21123) PROJECT; ALLOCATION OF QUIMBY FEES – CATEGORICAL EXEMPTION FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO ARTICLE III, SECTION 1, CLASS 1(1,4) OF THE CITY CEQA GUIDELINES (ALTERATIONS INVOLVING REMODELING WITH NEGLIGIBLE OR NO EXPANSION OF USE AND REHABILITATION OF DETERIORATED MECHANICAL EQUIPMENT TO MEET CURRENT STANDARD OF PUBLIC HEALTH)

|                        |            |             |       |
|------------------------|------------|-------------|-------|
| AP Diaz                | _____      | V. Israel   | _____ |
| <i>for</i> *R. Barajas | <u>CSD</u> | N. Williams | _____ |
| H. Fujita              | _____      |             |       |

  
\_\_\_\_\_  
General Manager

Approved \_\_\_\_\_ Disapproved \_\_\_\_\_ Withdrawn \_\_\_\_\_

RECOMMENDATIONS

1. Approve the scope of work for the Cleveland High School Pool – Swimming Pool Mechanical Systems Improvements (PRJ21123) Project, as described in the Summary of this Report;
2. Authorize the Department of Recreation and Parks' (RAP) Chief Accounting Employee to transfer Three Hundred Seventy Five Thousand Dollars (\$375,000.00) in Quimby Fees from Quimby Account No. 89460K-00 to Cleveland High School Pool Account No. 89460K-CM;
3. Approve the allocation of Three Hundred Seventy Five Thousand Dollars (\$375,000.00) in Quimby Fees from Cleveland High School Pool Account No. 89460K-CM for the Cleveland High School Pool – Swimming Pool Mechanical Systems Improvements (PRJ21123) Project;
4. Find that the proposed Cleveland High School Pool – Swimming Pool Mechanical Systems Improvements (PRJ21123) Project is categorically exempt from the California Environmental Quality Act (CEQA), and direct staff to file a Notice of Exemption;

BOARD REPORT

PG. 2 NO. 17-082

5. Authorize the RAP's Chief Accounting Employee to prepare a check to the Los Angeles County Clerk in the amount of Seventy-Five Dollars (\$75.00) for the purpose of filing a Notice of Exemption; and,
6. Authorize the RAP's Chief Accounting Employee to make technical corrections as necessary to carry out the intent of this Report.

SUMMARY

Cleveland High School Swimming Pool is located at 8120 Vanalden Avenue in the Reseda community of the City. This 0.79 acre facility includes a year-round swimming pool operated by RAP under a joint-use agreement with the Los Angeles Unified School District, which expires in May 2042. The facility provides a variety of aquatic programs to the school district and to the surrounding community. Approximately Two Thousand Two Hundred Sixteen (2,216) City residents live within a one-half (1/2) mile walking distance of Cleveland High School Pool. Due to the facilities, features, programs, and services it provides, Cleveland High School Swimming Pool meets the standard for a Community Park, as defined in the City's Public Recreation Plan.

PROJECT SCOPE

The Cleveland High School Pool – Swimming Pool Mechanical Systems Improvements (PRJ21123) Project proposes to improve to the swimming pool mechanical systems, including the replacement of the pool heaters, and replacement of the Heating, Ventilation, and Air Conditioning (HVAC) system in the pool building.

RAP's staff estimates these improvements will cost approximately Three Hundred Seventy Five Thousand Dollars (\$375,000.00).

PROJECT FUNDING

Upon approval of this Report, Three Hundred Seventy Five Thousand Dollars (\$375,000.00) in Quimby Fees from Quimby Account No. 89460K-00 can be transferred to Cleveland High School Pool Account No. 89460K-CM and allocated to the Cleveland High School Pool – Swimming Pool Mechanical Systems Improvements (PRJ21123) Project.

These Quimby Fees were collected within five (5) miles of Cleveland High School Pool, which is the standard distance for the allocation of the Quimby Fees for community recreational facilities pursuant to Los Angeles Municipal Code Section 12.33 E.3.

FUNDING SOURCE MATRIX

| Source       | Fund/Dept/Acct   | Amount              | Percentage  |
|--------------|------------------|---------------------|-------------|
| Quimby Fees  | 302/89/89460K-CM | \$375,000.00        | 100%        |
| <b>Total</b> |                  | <b>\$375,000.00</b> | <b>100%</b> |

## BOARD REPORT

PG. 3 NO. 17-082

### PROJECT CONSTRUCTION

RAP's staff has determined that sufficient funding has been identified for the construction of the Cleveland High School Pool – Swimming Pool Mechanical Systems Improvements (PRJ21123) Project.

Construction of the Cleveland High School Pool – Swimming Pool Mechanical Systems Improvements (PRJ21123) Project is currently anticipated to begin in April 2017.

### TREES AND SHADE

The approval of this Project will have no impact on existing trees or shade at Cleveland High School Pool. No new trees or new shade are proposed to be added to Cleveland High School Pool as a part of this Project.

### ENVIRONMENTAL IMPACT STATEMENT

The proposed project consists of modifications to existing park facilities involving negligible or no expansion of use and of the restoration or rehabilitation of facilities or mechanical equipment and systems to meet current standards of public health and safety. Therefore, RAP Staff recommends that the Board of Recreation and Park Commissioners' (Board) determines that the Project is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Article III, Section 1, Class 1(1,4) of the City CEQA Guidelines. A Notice of Exemption will be filed with the Los Angeles County Clerk upon approval of by the Board.

### FISCAL IMPACT STATEMENT

The approval of this allocation of Quimby Fees will have no fiscal impact on RAP's General Funds.

The estimated costs for the design, development, and construction of the proposed park improvements are anticipated to be funded by Quimby Fees or funding sources other than the RAP's General Fund. The maintenance of the proposed park improvements can be performed by current staff with minimal impact to existing maintenance service at this facility.

This Report was prepared by Meghan Luera, Management Assistant, Planning, Construction and Maintenance Branch.



**BOARD REPORT**

NO. 17-083

DATE April 05, 2017

C.D. 14

**BOARD OF RECREATION AND PARK COMMISSIONERS**

SUBJECT: EL SERENO RECREATION CENTER – SWIMMING POOL MECHANICAL SYSTEMS IMPROVEMENTS (PRJ20513) PROJECT – ALLOCATION OF QUIMBY FEES; CATEGORICAL EXEMPTION FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO ARTICLE III, SECTION 1, CLASS 1(1,4) OF THE CITY CEQA GUIDELINES (ALTERATIONS INVOLVING REMODELING WITH NEGLIGIBLE OR NO EXPANSION OF USE AND REHABILITATION OF DETERIORATED MECHANICAL EQUIPMENT TO MEET CURRENT STANDARD OF PUBLIC HEALTH)

|                        |                |             |       |
|------------------------|----------------|-------------|-------|
| AP Diaz                | _____          | V. Israel   | _____ |
| <i>fuo</i> *R. Barajas | <u>C&amp;D</u> | N. Williams | _____ |
| H. Fujita              | _____          |             |       |

  
\_\_\_\_\_

General Manager

Approved \_\_\_\_\_ Disapproved \_\_\_\_\_ Withdrawn \_\_\_\_\_

RECOMMENDATIONS

1. Approve the scope of work for the El Sereno Recreation Center – Swimming Pool Mechanical Systems Improvements (PRJ20513) Project, as described in the Summary of this Report;
2. Authorize the Department of Recreation and Parks' (RAP) Chief Accounting Employee to transfer One Hundred Eighty Thousand Dollars (\$180,000.00) in Quimby Fees from Quimby Account No. 89460K-00 to El Sereno Recreation Center Account No. 89460K-EG;
3. Approve the allocation of One Hundred Eighty Thousand Dollars (\$180,000.00) in Quimby Fees from El Sereno Recreation Center Account No. 89460K-EG for the El Sereno Recreation Center – Swimming Pool Mechanical Systems Improvements (PRJ20513) Project;
4. Find that the proposed El Sereno Recreation Center – Swimming Pool Mechanical Systems Improvements (PRJ20513) Project is categorically exempt from the California Environmental Quality Act (CEQA), and direct staff to file a Notice of Exemption;
5. Authorize the RAP's Chief Accounting Employee to prepare a check to the Los Angeles County Clerk in the amount of Seventy-Five Dollars (\$75.00) for the purpose of filing a Notice of Exemption; and,

BOARD REPORT

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6. Authorize the RAPs Chief Accounting Employee to make technical corrections as necessary to carry out the intent of this Report.

SUMMARY

El Sereno Recreation Center is located at 4721 Klamath Street in the El Sereno community of the City. This 13.94 acre park provides a recreation center, swimming pool, senior center, baseball fields, skate park, and basketball courts for the use of the surrounding community. Approximately Three Thousand Seven Hundred Sixty Two (3,762) City residents live within a one-half (1/2) mile walking distance of El Sereno Recreation Center. Due to the size of the park, and the facilities, features and programs it provides, El Sereno Recreation Center meets the standard for a Community Park, as defined in the City's Public Recreation Plan.

PROJECT SCOPE

The El Sereno Recreation Center – Swimming Pool Mechanical Systems Improvements (PRJ20513) Project proposes to improve to the swimming pool mechanical systems, including the replacement of the pool heaters.

RAP's staff estimates these improvements will cost approximately One Hundred Eighty Thousand Dollars (\$180,000.00).

PROJECT FUNDING

Upon approval of this Report, One Hundred Eighty Thousand Dollars (\$180,000.00) in Quimby Fees from Quimby Account No. 89460K-00 can be transferred to the El Sereno Recreation Center Account No. 89460K-EG and allocated to the El Sereno Recreation Center – Swimming Pool Mechanical Systems Improvements (PRJ20513) Project.

These Quimby Fees were collected within five (5) miles of El Sereno Recreation Center, which is the standard distance for the allocation of the Quimby Fees for community recreational facilities pursuant to Los Angeles Municipal Code Section 12.33 E.3.

FUNDING SOURCE MATRIX

| <b>Source</b> | <b>Fund/Dept/Acct</b> | <b>Amount</b> | <b>Percentage</b> |
|---------------|-----------------------|---------------|-------------------|
| Quimby Fees   | 302/89/89460K-EG      | \$180,000.00  | 100%              |
| <b>Total</b>  |                       | \$180,000.00  | 100%              |

PROJECT CONSTRUCTION

Rap's staff has determined that sufficient funding has been identified for the construction of the El Sereno Recreation Center – Swimming Pool Mechanical Systems Improvements (PRJ20513) Project.

## BOARD REPORT

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Construction of the El Sereno Recreation Center – Swimming Pool Mechanical Systems Improvements (PRJ20513) Project is currently anticipated to begin in April 2017.

### TREES AND SHADE

The approval of this Project will have no impact on existing trees or shade at El Sereno Recreation Center. No new trees or new shade are proposed to be added to El Sereno Recreation Center as a part of this Project.

### ENVIRONMENTAL IMPACT STATEMENT

The proposed project consists of modifications to existing park facilities involving negligible or no expansion of use and of the restoration or rehabilitation of facilities or mechanical equipment and systems to meet current standards of public health and safety. Therefore, RAP's Staff recommends that the Board of Recreation and Park Commissioners' (Board) determine that the project is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Article III, Section 1, Class 1(1,4) of the City CEQA Guidelines. A Notice of Exemption will be filed with the Los Angeles County Clerk upon approval of by the Board.

### FISCAL IMPACT STATEMENT

The approval of this allocation of Quimby Fees will have no fiscal impact on RAP's General Fund.

The estimated costs for the design, development, and construction of the proposed park improvements are anticipated to be funded by Quimby Fees or funding sources other than the RAP's General Fund. The maintenance of the proposed park improvements can be performed by current staff with minimal impact to existing maintenance service at this facility.

This Report was prepared by Meghan Luera, Management Assistant, Planning, Maintenance and Construction Branch.



**BOARD REPORT**

NO. 17-084

DATE April 05, 2017

C.D. 1

**BOARD OF RECREATION AND PARK COMMISSIONERS**

SUBJECT: GLASSELL PARK – SWIMMING POOL MECHANICAL SYSTEMS IMPROVEMENTS (PRJ21120) PROJECT – ALLOCATION OF QUIMBY FEES – CATEGORICAL EXEMPTION FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO ARTICLE III, SECTION 1, CLASS 1(1,4) OF THE CITY CEQA GUIDELINES (ALTERATIONS INVOLVING REMODELING WITH NEGLIGIBLE OR NO EXPANSION OF USE AND REHABILITATION OF DETERIORATED MECHANICAL EQUIPMENT TO MEET CURRENT STANDARD OF PUBLIC HEALTH)

|                        |            |             |       |
|------------------------|------------|-------------|-------|
| AP Diaz                | _____      | V. Israel   | _____ |
| <i>fws</i> *R. Barajas | <u>CEA</u> | N. Williams | _____ |
| H. Fujita              | _____      |             |       |

  
\_\_\_\_\_  
General Manager

Approved \_\_\_\_\_ Disapproved \_\_\_\_\_ Withdrawn \_\_\_\_\_

RECOMMENDATIONS

1. Approve the scope of work for the Glassell Park – Swimming Pool Mechanical Systems Improvements (PRJ21120) Project, as described in the Summary of this Report;
2. Authorize the Department of Recreation and Parks' (RAP) Chief Accounting Employee to transfer One Hundred Eighty Thousand Dollars (\$180,000.00) in Quimby Fees from Quimby Account No. 89460K-00 to Glassell Park Account No. 89460K-GT;
3. Approve the allocation of One Hundred Eighty Thousand Dollars (\$180,000.00) in Quimby Fees from Glassell Park Account No. 89460K-GT for the Glassell Park – Swimming Pool Mechanical Systems Improvements (PRJ21120) Project;
4. Find that the proposed Glassell Park – Swimming Pool Mechanical Systems Improvements (PRJ21120) Project is categorically exempt from the California Environmental Quality Act (CEQA), and direct staff to file a Notice of Exemption;
5. Authorize the RAP's Chief Accounting Employee to prepare a check to the Los Angeles County Clerk in the amount of Seventy-Five Dollars (\$75.00) for the purpose of filing a Notice of Exemption; and,

BOARD REPORT

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- 6. Authorize the RAP's Chief Accounting Employee to make technical corrections as necessary to carry out the intent of this Report.

SUMMARY

Glassell Park is located at 3650 Verdugo Road in the Glassell Park area of the City. This 12.69 acre park provides a variety of services and programs to the community including lighted athletic fields, basketball, football, after-school programs, a year-round pool, and a senior citizens club. Approximately Four Thousand Eight Hundred Twenty Seven 4,827 residents live within a one half (1/2) mile walking distance of Glassell Park. Due to the facilities, features, programs, and services it provides, Glassell Park meets the standard for a Community Park, as defined in the City's Public Recreation Plan.

PROJECT SCOPE

The Glassell Park Pool – Swimming Pool Mechanical Systems Improvements (PRJ21120) Project proposes to improve to the swimming pool mechanical systems, including the replacement of the pool heaters.

RAP's staff estimates these improvements will cost approximately One Hundred Eighty Thousand Dollars (\$180,000.00).

PROJECT FUNDING

Upon approval of this report, One Hundred Eighty Thousand Dollars (\$180,000.00) in Quimby Fees from Quimby Account No. 89460K-00 can be transferred to Glassell Park Account No. 89460K-GT and allocated to the Glassell Park – Swimming Pool Mechanical Systems Improvements (PRJ21120) Project.

These Quimby Fees were collected within five (5) miles of Glassell Park, which is the standard distance for the allocation of the Quimby Fees for community recreational facilities pursuant to Los Angeles Municipal Code Section 12.33 E.3.

FUNDING SOURCE MATRIX

| Source       | Fund/Dept/Acct   | Amount       | Percentage |
|--------------|------------------|--------------|------------|
| Quimby Fees  | 302/89/89460K-GT | \$180,000.00 | 100%       |
| <b>Total</b> |                  | \$180,000.00 | 100%       |

PROJECT CONSTRUCTION

RAP's staff has determined that sufficient funding has been identified for the construction of the Glassell Park Pool – Swimming Pool Mechanical Systems Improvements (PRJ21120) Project.

Construction of the Glassell Park Pool – Swimming Pool Mechanical Systems Improvements (PRJ21120) Project is currently anticipated to begin in April 2017

## BOARD REPORT

PG. 3 NO. 17-084

### TREES AND SHADE

The approval of this Project will have no impact on existing trees or shade at Glassell Park. No new trees or new shade are proposed to be added to Glassell Park as a part of this Project.

### ENVIRONMENTAL IMPACT STATEMENT

The proposed Project consists of modifications to existing park facilities involving negligible or no expansion of use and the restoration or rehabilitation of facilities or mechanical equipment and systems to meet current standards of public health and safety. Therefore, RAP Staff recommends that the Board of Recreation and Park Commissioners' (Board) determine that the project is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Article III, Section 1, Class 1(1,4) of the City CEQA Guidelines. A Notice of Exemption will be filed with the Los Angeles County Clerk upon approval of by the Board.

### FISCAL IMPACT STATEMENT

The approval of this allocation of Quimby Fees will have no fiscal impact on the RAP's General Funds.

The estimated costs for the design, development, and construction of the proposed park improvements are anticipated to be funded by Quimby Fees or funding sources other than the RAP's General Fund. The maintenance of the proposed park improvements can be performed by current staff with minimal impact to existing maintenance service at this facility.

This Report was prepared by Wendy Cervantes, Management Assistant, Planning, Maintenance and Construction Branch.



**BOARD REPORT**

NO. 17-085

DATE April 05, 2017

C.D. 7

**BOARD OF RECREATION AND PARK COMMISSIONERS**

SUBJECT: HUBERT H. HUMPHREY MEMORIAL PARK – SWIMMING POOL MECHANICAL SYSTEMS IMPROVEMENTS (PRJ21122) PROJECT – ALLOCATION OF QUIMBY FEES – CATEGORICAL EXEMPTION FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO ARTICLE III, SECTION 1, CLASS 1(1,4) OF THE CITY CEQA GUIDELINES (ALTERATIONS INVOLVING REMODELING WITH NEGLIGIBLE OR NO EXPANSION OF USE AND REHABILITATION OF DETERIORATED MECHANICAL EQUIPMENT TO MEET CURRENT STANDARD OF PUBLIC HEALTH)

|                        |            |             |       |
|------------------------|------------|-------------|-------|
| AP Diaz                | _____      | V. Israel   | _____ |
| <i>fur</i> *R. Barajas | <u>CEA</u> | N. Williams | _____ |
| H. Fujita              | _____      |             |       |

  
\_\_\_\_\_  
General Manager

Approved \_\_\_\_\_ Disapproved \_\_\_\_\_ Withdrawn \_\_\_\_\_

RECOMMENDATIONS

1. Approve the scope of work for the Hubert H. Humphrey Memorial Park – Swimming Pool Mechanical Systems Improvements (PRJ21122) Project, as described in the Summary of this Report;
2. Authorize the Department of Recreation and Parks' (RAP) Chief Accounting Employee to transfer Two Hundred Sixty Five Thousand Dollars (\$265,000.00) in Quimby Fees from Quimby Account No. 89460K-00 to Hubert H. Humphrey Memorial Park Account No. 89460K-HA;
3. Approve the allocation of Two Hundred Sixty Five Thousand Dollars (\$265,000.00) in Quimby Fees from Hubert H. Humphrey Memorial Park Account No. 89460K-HA for the Hubert H. Humphrey Memorial Park – Swimming Pool Mechanical Systems Improvements (PRJ21122) Project;
4. Find that the proposed Hubert H. Humphrey Memorial Park – Swimming Pool Mechanical Systems Improvements (PRJ21122) Project is categorically exempt from the California Environmental Quality Act (CEQA), and direct staff to file a Notice of Exemption;

BOARD REPORT

PG. 2 NO. 17-085

- 5. Authorize the RAP's Chief Accounting Employee to prepare a check to the Los Angeles County Clerk in the amount of Seventy-Five Dollars (\$75.00) for the purpose of filing a Notice of Exemption; and,
- 6. Authorize the RAP's Chief Accounting Employee to make technical corrections as necessary to carry out the intent of this Report.

SUMMARY

Hubert H. Humphrey Memorial Park is a 9.52 acre park, located at 12560 Filmore Street, in the Pacoima community. This site has several recreation features, including a swimming pool, basketball courts, gymnasium, multipurpose fields, and serves the community with a variety of programs for youth, families and seniors. Approximately Seven Thousand Three Hundred Thirty Nine (7,339) City residents live within a one half (1/2) mile walking distance of Hubert H. Humphrey Memorial Park. Due to the facilities, features, programs and services it provides, Hubert H. Humphrey Memorial Park meets the standards for a Community Park, as defined in the City's Public Recreation Plan.

PROJECT SCOPE

The Hubert H. Humphrey Memorial Park – Swimming Pool Mechanical Systems Improvements (PRJ21122) Project proposes to improve to the swimming pool mechanical systems, including the replacement of the pool heaters.

RAP's staff estimates these improvements will cost approximately Two Hundred Sixty Five Thousand Dollars (\$265,000.00).

PROJECT FUNDING

Upon approval of this Report, Two Hundred Sixty Five Thousand Dollars (\$265,000.00) in Quimby Fees from Quimby Account No. 89460K-00 can be transferred to Hubert H. Humphrey Memorial Park Account No. 89460K-HA and allocated to the Hubert H. Humphrey Memorial Park – Swimming Pool Mechanical Systems Improvements (PRJ21122) Project.

These Quimby Fees were collected within five (5) miles of Hubert H. Humphrey Memorial Park, which is the standard distance for the allocation of the Quimby Fees for community recreational facilities pursuant to Los Angeles Municipal Code Section 12.33 E.3.

FUNDING SOURCE MATRIX

| Source       | Fund/Dept/Acct   | Amount       | Percentage |
|--------------|------------------|--------------|------------|
| Quimby Fees  | 302/89/89460K-HA | \$265,000.00 | 100%       |
| <b>Total</b> |                  | \$265,000.00 | 100%       |

## BOARD REPORT

PG. 3 NO. 17-085

### PROJECT CONSTRUCTION

RAP's staff has determined that sufficient funding has been identified for the construction of the Hubert H. Humphrey Memorial Park – Swimming Pool Mechanical Systems Improvements (PRJ21122) Project.

Construction of the Hubert H. Humphrey Memorial Park – Swimming Pool Mechanical Systems Improvements (PRJ21122) Project is currently anticipated to begin in April 2017.

### TREES AND SHADE

The approval of this Project will have no impact on existing trees or shade at Hubert H. Humphrey Memorial Park. No new trees or shade are proposed to be added to Hubert H. Humphrey Memorial Park as a part of this Project.

### ENVIRONMENTAL IMPACT STATEMENT

The proposed Project will consist of modifications to existing park facilities involving negligible or no expansion of use and the restoration or rehabilitation of facilities or mechanical equipment and systems to meet current standards of public health and safety. Therefore, RAP's staff recommends that the Board of Recreation and Park Commissioners' (Board) determine that it is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Article III, Section 1, Class 1(1,4) of the City CEQA Guidelines. A Notice of Exemption will be filed with the Los Angeles County Clerk upon approval by the Board.

### FISCAL IMPACT STATEMENT

The approval of this allocation of Quimby Fees will have no fiscal impact on RAP's General Fund.

The estimated costs for the design, development, and construction of the proposed park improvements are anticipated to be funded by Quimby Fees or funding sources other than the RAP's General Fund. The maintenance of the proposed park improvements can be performed by current staff with minimal impact to existing maintenance service at this facility.

This Report was prepared by Wendy Cervantes, Management Assistant, Planning, Maintenance and Construction Branch.



**BOARD REPORT**

NO. 17-086

DATE April 05, 2017

C.D. 14

**BOARD OF RECREATION AND PARK COMMISSIONERS**

SUBJECT: VESTING TENTATIVE TRACT (VTT) NO. 74765 – RECOMMENDATION TO THE ADVISORY AGENCY FOR LAND DEDICATION OR IN-LIEU PARK FEE PAYMENT

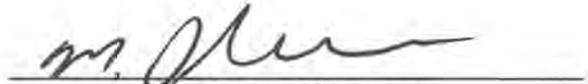
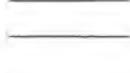
AP Diaz \*

V. Israel

R. Barajas

N. Williams

H. Fujita

  
General Manager

Approved \_\_\_\_\_

Disapproved \_\_\_\_\_

Withdrawn \_\_\_\_\_

RECOMMENDATIONS

1. Recommend that the Advisory Agency require Vesting Tentative Tract (VTT)-74765 (Project) to pay the in-lieu park fee to the City in order to fulfill the Project's requirements under provisions of Los Angeles Municipal Code Section 12.33;
2. Direct the General Manager or his designee to provide a report to the Advisory Agency informing it of the Board's recommendation.

SUMMARY

Ordinance 184,505 (Parks Dedication and Fee Update ordinance) became effective on January 11, 2017. Ordinance 184,505 requires most residential projects that create new dwelling units or joint living and work quarters to dedicate land, or to pay a fee in-lieu (Park Fee), for the purpose of developing park and recreational facilities. Residential projects that propose one or more additional dwelling units are subject to these requirements unless they meet one of the exceptions listed in Los Angeles Municipal Code Section 12.33 C.3 (e.g. certain affordable housing units and secondary dwelling units may be exempt from any requirement to pay a fee).

Pursuant to Los Angeles Municipal Code Section 17.04 (Subdivision Committee), the Department of Recreation and Parks (RAP) is to submit a report to the Advisory Agency for each application for subdivision map approval and that report "shall contain recommendations, approved by the Board of Recreation and Park Commissioners, specifying the land to be dedicated, the payment of fees in lieu thereof, or a combination of both ...".

## BOARD REPORT

PG. 2 NO. 17-086

VTT-74765 (Project) is located at 670 Mesquit Street in Downtown Los Angeles in the Arts District community. The Project is a mixed-use development consisting of three hundred eight (308) dwelling units, fifty (50) of which will be affordable dwelling units. The Project, as currently proposed, includes the construction of approximately 1.8 million square feet of mixed-use floor area potentially consisting of office, multi-family residential units, hotel, and commercial space.

The Project proposes to provide open space for residents and visitors in the community by providing integrated landscaping throughout the site, terraced walkways, rooftop gardens that include landscaping, and trees and relaxation areas. The northern portion of the Project Site is adjacent to the Sixth Street Bridge. The Project proposes making approximately 12,000 square feet of the northern portion of the Project Site open to the public and plans to design that area in a manner consistent with the public open space improvements proposed to be developed as a part of the 6th Street Viaduct Replacement Project. Additionally, the Project may include a large publicly-accessible and landscaped riverfront pedestrian deck that would span the length of the Project site. This proposed deck would project over adjacent railyard/railway property and provide a connection to the Los Angeles River. In order to develop the proposed deck the Project would need to acquire air rights from Amtrak, Metro, and BNSF Railway, which all control various portions of the railyard/railway to the east of the Project Site.

Conceptual renderings of Project are attached. (Attachment 1).

On January 23, 2017, RAP staff held an Early Consultation meeting with the Project representatives. At that meeting, staff discussed the requirements of Los Angeles Municipal Code Section 12.33, including options for parkland dedications, satisfaction of Park Fees, and recreational credits.

On March 8, 2017, the Advisory Agency distributed a notification to RAP requesting RAP provide its report and recommendations on the Project. The requested report is due to the Advisory Agency by April 17, 2017. The notification from the Advisory Agency indicated that if no written report is provided to the Advisory Agency by that date, the Advisory Agency would assume that RAP has no report to make.

### REQUIRED LAND DEDICATION / IN-LIEU FEE PAYMENT

#### Land Dedication

Pursuant to Los Angeles Municipal Code Section 12.33 D, residential subdivision projects with more than fifty (50) residential dwelling units can be required by the City to dedicate land to the City for park and recreation purposes. The amount of land to be dedicated is calculated based on the formula detailed in Los Angeles Municipal Code Section 12.33 D.2:

BOARD REPORT

PG. 3 NO. 17-086

- **LD = (DU x P) x F**
  - **LD** = Land to be dedicated in acres.
  - **DU** = Total number of new market-rate dwelling units.
  - **P** = Average number of people per occupied dwelling unit as determined by the most recent version of the U.S. Census for the City of Los Angeles.
    - **P = 2.88**
  - **F** = Park Service factor, as indicated by the Department of Recreation and Parks rate and fee schedule.
    - **F = 0.00186 (1.86 acres of park land per 1,000 residents)**

The maximum required land dedication for the Project would be:

$$1.65 \text{ Acres}^* = (308 \times 2.88) \times 0.00186$$

\*The maximum required land dedication is subject to change based on the number of exempt dwelling units included as part of the Project.

Per Los Angeles Municipal Code Section 12.33 D.3, land dedications may be made on-site or off-site of the project location. Any land dedication shall be located within a certain radius of the project site, as specified below:

- a) Neighborhood Park: within a 2-mile radius
- b) Community Park: within a 5-mile radius
- c) Regional Park: within a 10-mile radius

Should the Advisory Agency require the Project to dedicate land to the City, RAP staff will prepare a subsequent report to the Board relative to the proposed land dedication. The Board may accept or decline the proposed land dedication.

Park Fee Payment

Pursuant to Los Angeles Municipal Code Section 12.33, the Park Fee amount is determined by the type of residential development project (either Subdivision or Non-Subdivision). RAP collects these fees pursuant to Los Angeles Municipal Code Section 19.17 and according to the schedule specified in the Park Fees Section of the Department of Recreation and Parks' Rate and Fee Schedule. Residential subdivision projects are subject to the Quimby in-lieu fee and, as of January 11, 2017, shall pay:

- **\$8,122.50 per each new non-exempt dwelling unit**

The maximum required Park Fees payment for the Project would be:

$$\mathbf{\$2,501,730.00^*} = \$8,122.50 \times 308 \text{ dwelling units}$$

## BOARD REPORT

PG. 4 NO. 17-086

\*The maximum required Park Fees payment is subject to change depending on the Park Fee schedule in effect in the year of payment; the number of exempt dwelling units included as part of the Project; any Dwelling Unit Construction Tax previously paid by the Project; and, any credits granted by RAP to the Project for eligible privately owned recreational facilities and amenities.

### STAFF RECOMMENDATION

For each proposed residential development project RAP staff analyzes the project location, anticipated new population, nearby existing parks, planned or proposed future parks, service radius gaps, planning and policy documents, etc., in order for staff to determine which mechanism, land dedication or Park Fee payment, to recommend for the Board's review and approval. RAP staff also takes into consideration the goals and objectives of various planning and policy documents. The Mayor's Sustainability pLAn, for example, sets a goal of increasing the percentage of Angelinos living within a one-half (1/2) mile from a park from its current level of fifty-four percent (54%) to sixty-five percent (65%) by 2025 and to seventy-five percent (75%) by 2035.

The Project is located in Downtown Los Angeles in the Arts District community. Currently, industrial buildings are located at the Project site. The Los Angeles River and railway tracks are immediately adjacent to the east side of the Project. To the north, west, and south of the Project site are a mix of industrial and apartment buildings. The Project is immediately adjacent to the 6th Street Viaduct, a bridge over the Los Angeles River, connecting the Arts District to Boyle Heights. The 6<sup>th</sup> Street Bridge which was recently demolished and is presently in the process of being replaced.

There are no public parks within a one-half (1/2) mile walking distance from the project site. The nearest public park to the project site is the Arts District Park, a 0.5 acre park located at 501 S. Hewitt Street. In order for Project residents to access Arts District Park, residents would need to traverse a semi-industrial area in which several streets lack sidewalks. Hollenbeck Park, a 18.30 acre park located at 415 South Saint Louis Street in Boyle Heights, is another nearby park. Hollenbeck Park is separated from the Project by the Los Angeles River and railyard / railway property. A map showing the Project location and nearby public parks is attached hereto (Attachment 2).

There is one public park proposed to be developed within a one-half (1/2) mile walking distance from the project site. The 6th Street Viaduct Replacement Project, which is currently in design, conceptually includes the development of a twelve (12) acres of park space underneath the new 6th Street Viaduct on both the Boyle Heights and Arts District sides of the Los Angeles River. Construction of the park is planned to be coordinated with the construction of the new bridge, which is expected to be completed at the end of 2020. If a new public park were provided at the Project location, approximately six hundred eight (608) new residents within a one-half (1/2) mile would be served by that new park (Attachment 3).

## BOARD REPORT

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Given the above, RAP's staff recommends that the appropriate mitigation measure for this project is the payment of Park Fees rather than requiring Project to dedicate park land to the City. The twelve (12) acres of park space proposed to be created as a part of 6th Street Viaduct Replacement Project will be immediately adjacent to the Project and the recreational amenities proposed to be created there will be easily accessible to future Project residents and should provide sufficient recreation amenities to serve the needs of those residents.

### FISCAL IMPACT STATEMENT

The acceptance of the Park Fee will have no impact on the RAP's General Fund.

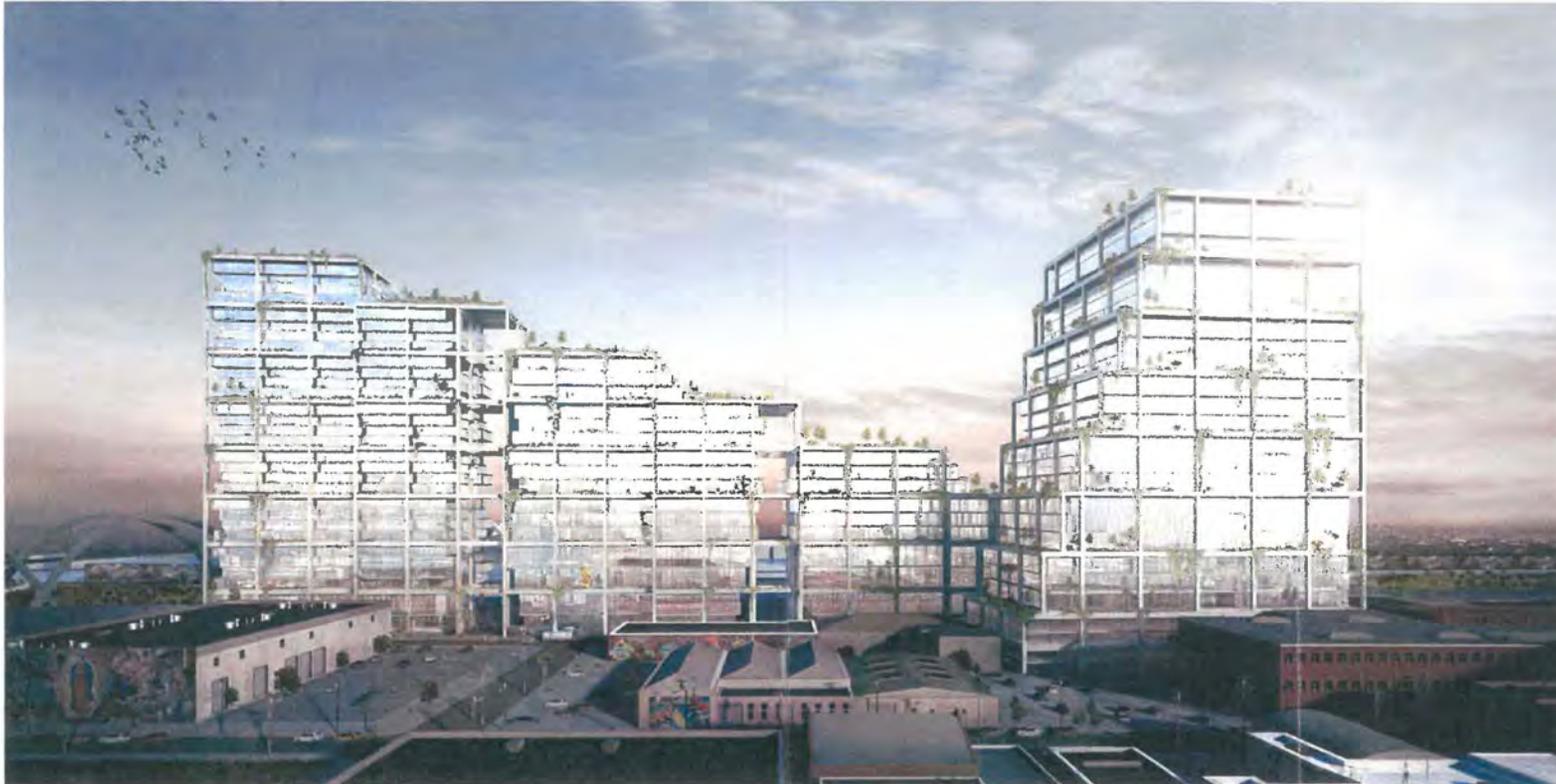
This Report was prepared by Meghan Luera, Management Assistant, Planning, Construction and Maintenance Branch, Department of Recreation and Parks.

### LIST OF ATTACHMENTS

- 1) Conceptual Project Renderings
- 2) Project Location and Surrounding Parks
- 3) EPADSS Report



**670 MESQUIT** 670 MESQUIT STREET  
LOS ANGELES, CA 90021



JANUARY 23, 2017

**OWNER**  
FRANK GALLO/RANCHO COLD STORAGE, INC.

670 MESQUIT ST.  
LOS ANGELES, CA 90021  
T +1 213 824 8861

**APPLICANT**  
ZACHARY VELLA/RCS VE LLC

350 BOWERY, 2ND FLOOR  
NEW YORK, NY 10012  
T +1 212 606 2500

**DESIGN ARCHITECT**  
BIG - BJARKE INGELS GROUP

81 BROADWAY, SUITE 3900  
NEW YORK, NY 10008  
T +1 347 549 4141

**CLIENT REPRESENTATIVE**  
PLUS DEVELOPMENT GROUP

8520 WEST SUNSET BLVD #200A  
WEST HOLLYWOOD, CA 90069  
T +1 424 274 3881

**ARCHITECT OF RECORD**  
GRUEN ASSOCIATES

6330 SAN VICENTE BLVD #200  
LOS ANGELES, CA 90048  
T +1 323 937 4270

**LANDSCAPE ARCHITECT**  
MIA LEHRER + ASSOCIATE

185 SOUTH MYERS STREET  
LOS ANGELES, CA 90033  
T +1 213 384 3844

**STRUCTURAL ENGINEER**  
THORNTON TOMASETTI

AON CENTER, 707 WILSHIRE BLVD #4450  
LOS ANGELES, CA 90017  
T +1 213 530 7000

**MEP ENGINEER**  
TK15C

515 SOUTH FIGUEROA STREET, #1105  
LOS ANGELES, CA 90071  
T +1 213 607 9400

**TRAFFIC**  
FEHR & PEERS

600 WILSHIRE BLVD, SUITE 1050  
LOS ANGELES, CA 90017  
T +1 213 281 3050

**CODE CONSULTANT**  
ARUP

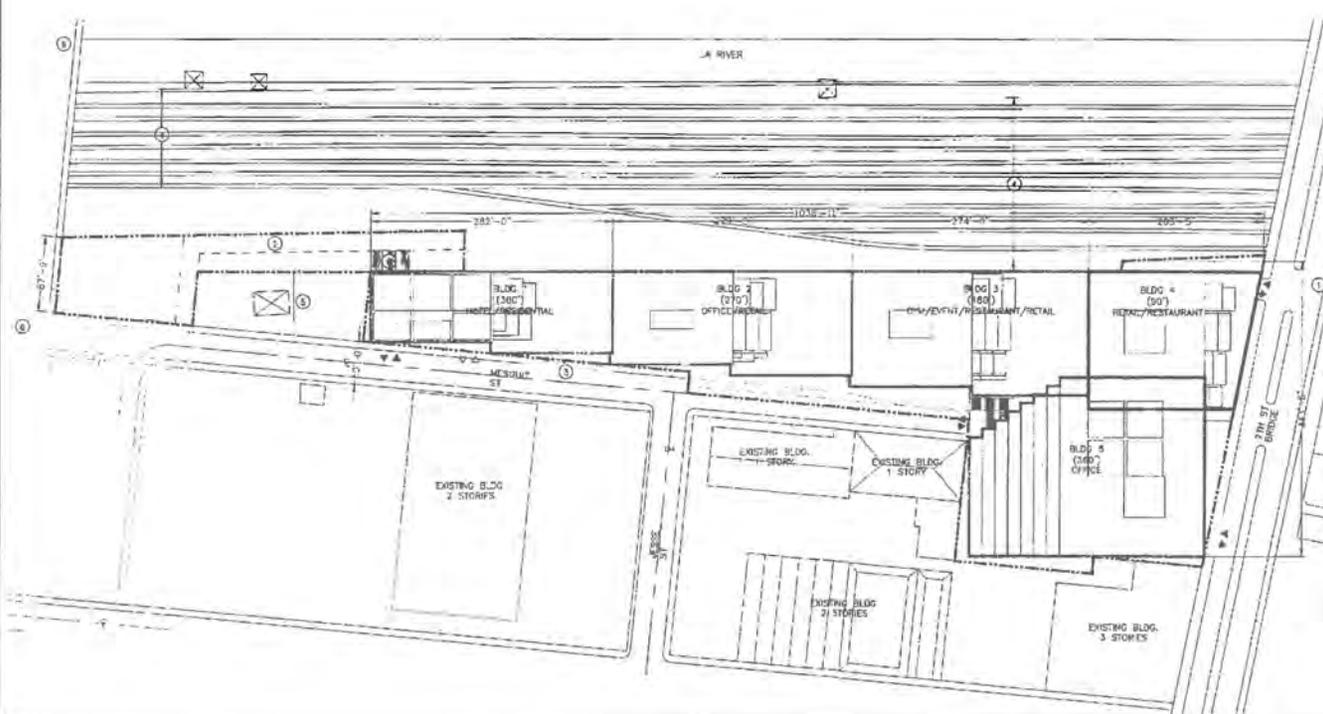
12777 W. JEFFERSON BLVD, BLDG. D  
LOS ANGELES, CA 90066  
T +1 310 378 4400

| GENERAL INFORMATION   | ADDRESS / LEGAL DESCRIPTION  | SETBACKS  | OPEN SPACE   | PARKING  |  |  |  |          |      |                         |                      |   |                |            |                      |    |  |  |               |                      |    |  |  |              |                      |    |  |  |              |                        |    |  |  |                        |  |            |            |       |               |                  |    |  |  |                |                    |   |  |  |               |                    |    |  |  |                        |  |           |           |        |                                    |                 |       |       |  |  |                 |     |     |  |                          |  |              |              |            |           |                 |     |     |                |          |                 |     |     |                              |          |                 |     |     |              |  |  |              |              |  |  |                              |       |  |  |  |                               |                |                   |  |  |                               |                |               |
|---|--|---|--|--|--|--|--|----------|------|-------------------------|----------------------|---|----------------|------------|----------------------|----|--|--|---------------|----------------------|----|--|--|--------------|----------------------|----|--|--|--------------|------------------------|----|--|--|------------------------|--|------------|------------|-------|---------------|------------------|----|--|--|----------------|--------------------|---|--|--|---------------|--------------------|----|--|--|------------------------|--|-----------|-----------|--------|------------------------------------|-----------------|-------|-------|--|--|-----------------|-----|-----|--|--------------------------|--|--------------|--------------|------------|-----------|-----------------|-----|-----|----------------|----------|-----------------|-----|-----|------------------------------|----------|-----------------|-----|-----|--------------|--|--|--------------|--------------|--|--|------------------------------|-------|--|--|--|-------------------------------|----------------|-------------------|--|--|-------------------------------|----------------|---------------|
| PROJECT ADDRESS: 670 MESQUIT STREET, LOS ANGELES, CA 90021  | APN<br>5184-017-002<br>5184-017-003<br>5184-017-005<br>5184-017-006<br>5184-018-009<br>5184-018-010<br>5184-018-003 (A PORTION)  | NO SETBACKS REQUIRED FOR COMMERCIAL USES IN C2 ZONE (PER LAWC SECT. 12.114D)<br><br>REQUIRED SETBACKS FOR RESIDENTIAL USES IN C2 ZONE<br><br>FRONT YARD: 0'<br>REAR YARD: 10'<br>SIDE YARD: 0'<br><br>MIXED USE EXEMPTION:<br>NO REQUIRED SETBACKS PER LAWC SECT. 12.22A 10(C)(1) | TOTAL OPEN SPACE RETAINED (PER SECTION 12.21(C))<br>75% HARDSCAPE: 54,825 SQFT<br>25% SOFTSCAPE: 41,119 SQFT<br>13,706 SQFT<br><br>TOTAL OPEN SPACE PROPOSED: 97,447 SQFT<br>HARDSCAPE AREA TOTAL: 68,542 SQFT (71%)<br>LANDSCAPE AREA TOTAL: 28,904 SQFT (29%)<br><br>TREE CALCULATIONS<br>EXISTING TREES: 0 TOTAL<br>TREES REQUIRED: 136 TOTAL (544 UNITS / 4 = 136)<br>PROPOSED TREES: 151 TOTAL<br><br>COMMON OPEN SPACE PROPOSED: 97,447 SQFT | <table border="1"> <thead> <tr> <th>LAND USE</th> <th>SIZE</th> <th>VEHICLE PARKING RATE(S)</th> <th>REQ'D VEHICLE SPACES</th> <th>REQ'D VEHICLE SPACES / BI-CYCLE RELATIONS (S)</th> </tr> </thead> <tbody> <tr> <td>APARTMENTS (1)</td> <td>73 STUDIOS</td> <td>5 SPACE PER UNIT (b)</td> <td>37</td> <td></td> </tr> <tr> <td></td> <td>189 1-BEDROOM</td> <td>8 SPACE PER UNIT (b)</td> <td>85</td> <td></td> </tr> <tr> <td></td> <td>40 2-BEDROOM</td> <td>1 SPACE PER UNIT (a)</td> <td>49</td> <td></td> </tr> <tr> <td></td> <td>17 3-BEDROOM</td> <td>2.5 SPACE PER UNIT (c)</td> <td>21</td> <td></td> </tr> <tr> <td></td> <td><b>308 TOTAL UNITS</b></td> <td></td> <td><b>192</b></td> <td><b>192</b></td> </tr> <tr> <td>HOTEL</td> <td>23 1-20 ROOMS</td> <td>5 SPACE PER UNIT</td> <td>10</td> <td></td> </tr> <tr> <td></td> <td>20 21-40 ROOMS</td> <td>2.5 SPACE PER UNIT</td> <td>5</td> <td></td> </tr> <tr> <td></td> <td>186 40+ ROOMS</td> <td>1.7 SPACE PER UNIT</td> <td>33</td> <td></td> </tr> <tr> <td></td> <td><b>236 TOTAL UNITS</b></td> <td></td> <td><b>48</b></td> <td><b>48</b></td> </tr> <tr> <td>OFFICE</td> <td>OFFICE: 844.1 KSF<br/>GYM: 62.1 KSF</td> <td>2 SPACE PER KSF</td> <td>1,809</td> <td>1,809</td> </tr> <tr> <td></td> <td></td> <td>2 SPACE PER KSF</td> <td>124</td> <td>124</td> </tr> <tr> <td></td> <td><b>1,006.2 TOTAL KSF</b></td> <td></td> <td><b>2,012</b></td> <td><b>2,012</b></td> </tr> <tr> <td>RETAIL (a)</td> <td>136.0 KSF</td> <td>2 SPACE PER KSF</td> <td>272</td> <td>230</td> </tr> <tr> <td>RESTAURANT (a)</td> <td>80.6 KSF</td> <td>2 SPACE PER KSF</td> <td>175</td> <td>158</td> </tr> <tr> <td>STUDIO / EVENT / GALLERY (a)</td> <td>93.6 KSF</td> <td>2 SPACE PER KSF</td> <td>187</td> <td>178</td> </tr> <tr> <td><b>TOTAL</b></td> <td></td> <td></td> <td><b>2,830</b></td> <td><b>2,740</b></td> </tr> <tr> <td></td> <td></td> <td># OF PARKING SPACES PROVIDED</td> <td>2,000</td> <td></td> </tr> <tr> <td></td> <td></td> <td># OF BI-CYCLE SPACES REQUIRED</td> <td>275 SHORT TERM</td> <td>854 LONG TERM (a)</td> </tr> <tr> <td></td> <td></td> <td># OF BI-CYCLE SPACES PROVIDED</td> <td>278 SHORT TERM</td> <td>854 LONG TERM</td> </tr> </tbody> </table> |  |  |  | LAND USE | SIZE | VEHICLE PARKING RATE(S) | REQ'D VEHICLE SPACES | REQ'D VEHICLE SPACES / BI-CYCLE RELATIONS (S) | APARTMENTS (1) | 73 STUDIOS | 5 SPACE PER UNIT (b) | 37 |  |  | 189 1-BEDROOM | 8 SPACE PER UNIT (b) | 85 |  |  | 40 2-BEDROOM | 1 SPACE PER UNIT (a) | 49 |  |  | 17 3-BEDROOM | 2.5 SPACE PER UNIT (c) | 21 |  |  | <b>308 TOTAL UNITS</b> |  | <b>192</b> | <b>192</b> | HOTEL | 23 1-20 ROOMS | 5 SPACE PER UNIT | 10 |  |  | 20 21-40 ROOMS | 2.5 SPACE PER UNIT | 5 |  |  | 186 40+ ROOMS | 1.7 SPACE PER UNIT | 33 |  |  | <b>236 TOTAL UNITS</b> |  | <b>48</b> | <b>48</b> | OFFICE | OFFICE: 844.1 KSF<br>GYM: 62.1 KSF | 2 SPACE PER KSF | 1,809 | 1,809 |  |  | 2 SPACE PER KSF | 124 | 124 |  | <b>1,006.2 TOTAL KSF</b> |  | <b>2,012</b> | <b>2,012</b> | RETAIL (a) | 136.0 KSF | 2 SPACE PER KSF | 272 | 230 | RESTAURANT (a) | 80.6 KSF | 2 SPACE PER KSF | 175 | 158 | STUDIO / EVENT / GALLERY (a) | 93.6 KSF | 2 SPACE PER KSF | 187 | 178 | <b>TOTAL</b> |  |  | <b>2,830</b> | <b>2,740</b> |  |  | # OF PARKING SPACES PROVIDED | 2,000 |  |  |  | # OF BI-CYCLE SPACES REQUIRED | 275 SHORT TERM | 854 LONG TERM (a) |  |  | # OF BI-CYCLE SPACES PROVIDED | 278 SHORT TERM | 854 LONG TERM |
| LAND USE  | SIZE   | VEHICLE PARKING RATE(S)   | REQ'D VEHICLE SPACES   | REQ'D VEHICLE SPACES / BI-CYCLE RELATIONS (S)  |  |  |  |          |      |                         |                      |   |                |            |                      |    |  |  |               |                      |    |  |  |              |                      |    |  |  |              |                        |    |  |  |                        |  |            |            |       |               |                  |    |  |  |                |                    |   |  |  |               |                    |    |  |  |                        |  |           |           |        |                                    |                 |       |       |  |  |                 |     |     |  |                          |  |              |              |            |           |                 |     |     |                |          |                 |     |     |                              |          |                 |     |     |              |  |  |              |              |  |  |                              |       |  |  |  |                               |                |                   |  |  |                               |                |               |
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|   | 17 3-BEDROOM   | 2.5 SPACE PER UNIT (c)  | 21   |  |  |  |  |          |      |                         |                      |   |                |            |                      |    |  |  |               |                      |    |  |  |              |                      |    |  |  |              |                        |    |  |  |                        |  |            |            |       |               |                  |    |  |  |                |                    |   |  |  |               |                    |    |  |  |                        |  |           |           |        |                                    |                 |       |       |  |  |                 |     |     |  |                          |  |              |              |            |           |                 |     |     |                |          |                 |     |     |                              |          |                 |     |     |              |  |  |              |              |  |  |                              |       |  |  |  |                               |                |                   |  |  |                               |                |               |
|   | <b>308 TOTAL UNITS</b>   |   | <b>192</b>   | <b>192</b>   |  |  |  |          |      |                         |                      |   |                |            |                      |    |  |  |               |                      |    |  |  |              |                      |    |  |  |              |                        |    |  |  |                        |  |            |            |       |               |                  |    |  |  |                |                    |   |  |  |               |                    |    |  |  |                        |  |           |           |        |                                    |                 |       |       |  |  |                 |     |     |  |                          |  |              |              |            |           |                 |     |     |                |          |                 |     |     |                              |          |                 |     |     |              |  |  |              |              |  |  |                              |       |  |  |  |                               |                |                   |  |  |                               |                |               |
| HOTEL   | 23 1-20 ROOMS  | 5 SPACE PER UNIT  | 10   |  |  |  |  |          |      |                         |                      |   |                |            |                      |    |  |  |               |                      |    |  |  |              |                      |    |  |  |              |                        |    |  |  |                        |  |            |            |       |               |                  |    |  |  |                |                    |   |  |  |               |                    |    |  |  |                        |  |           |           |        |                                    |                 |       |       |  |  |                 |     |     |  |                          |  |              |              |            |           |                 |     |     |                |          |                 |     |     |                              |          |                 |     |     |              |  |  |              |              |  |  |                              |       |  |  |  |                               |                |                   |  |  |                               |                |               |
|   | 20 21-40 ROOMS   | 2.5 SPACE PER UNIT  | 5  |  |  |  |  |          |      |                         |                      |   |                |            |                      |    |  |  |               |                      |    |  |  |              |                      |    |  |  |              |                        |    |  |  |                        |  |            |            |       |               |                  |    |  |  |                |                    |   |  |  |               |                    |    |  |  |                        |  |           |           |        |                                    |                 |       |       |  |  |                 |     |     |  |                          |  |              |              |            |           |                 |     |     |                |          |                 |     |     |                              |          |                 |     |     |              |  |  |              |              |  |  |                              |       |  |  |  |                               |                |                   |  |  |                               |                |               |
|   | 186 40+ ROOMS  | 1.7 SPACE PER UNIT  | 33   |  |  |  |  |          |      |                         |                      |   |                |            |                      |    |  |  |               |                      |    |  |  |              |                      |    |  |  |              |                        |    |  |  |                        |  |            |            |       |               |                  |    |  |  |                |                    |   |  |  |               |                    |    |  |  |                        |  |           |           |        |                                    |                 |       |       |  |  |                 |     |     |  |                          |  |              |              |            |           |                 |     |     |                |          |                 |     |     |                              |          |                 |     |     |              |  |  |              |              |  |  |                              |       |  |  |  |                               |                |                   |  |  |                               |                |               |
|   | <b>236 TOTAL UNITS</b>   |   | <b>48</b>  | <b>48</b>  |  |  |  |          |      |                         |                      |   |                |            |                      |    |  |  |               |                      |    |  |  |              |                      |    |  |  |              |                        |    |  |  |                        |  |            |            |       |               |                  |    |  |  |                |                    |   |  |  |               |                    |    |  |  |                        |  |           |           |        |                                    |                 |       |       |  |  |                 |     |     |  |                          |  |              |              |            |           |                 |     |     |                |          |                 |     |     |                              |          |                 |     |     |              |  |  |              |              |  |  |                              |       |  |  |  |                               |                |                   |  |  |                               |                |               |
| OFFICE  | OFFICE: 844.1 KSF<br>GYM: 62.1 KSF   | 2 SPACE PER KSF   | 1,809  | 1,809  |  |  |  |          |      |                         |                      |   |                |            |                      |    |  |  |               |                      |    |  |  |              |                      |    |  |  |              |                        |    |  |  |                        |  |            |            |       |               |                  |    |  |  |                |                    |   |  |  |               |                    |    |  |  |                        |  |           |           |        |                                    |                 |       |       |  |  |                 |     |     |  |                          |  |              |              |            |           |                 |     |     |                |          |                 |     |     |                              |          |                 |     |     |              |  |  |              |              |  |  |                              |       |  |  |  |                               |                |                   |  |  |                               |                |               |
|   |  | 2 SPACE PER KSF   | 124  | 124  |  |  |  |          |      |                         |                      |   |                |            |                      |    |  |  |               |                      |    |  |  |              |                      |    |  |  |              |                        |    |  |  |                        |  |            |            |       |               |                  |    |  |  |                |                    |   |  |  |               |                    |    |  |  |                        |  |           |           |        |                                    |                 |       |       |  |  |                 |     |     |  |                          |  |              |              |            |           |                 |     |     |                |          |                 |     |     |                              |          |                 |     |     |              |  |  |              |              |  |  |                              |       |  |  |  |                               |                |                   |  |  |                               |                |               |
|   | <b>1,006.2 TOTAL KSF</b>   |   | <b>2,012</b>   | <b>2,012</b>   |  |  |  |          |      |                         |                      |   |                |            |                      |    |  |  |               |                      |    |  |  |              |                      |    |  |  |              |                        |    |  |  |                        |  |            |            |       |               |                  |    |  |  |                |                    |   |  |  |               |                    |    |  |  |                        |  |           |           |        |                                    |                 |       |       |  |  |                 |     |     |  |                          |  |              |              |            |           |                 |     |     |                |          |                 |     |     |                              |          |                 |     |     |              |  |  |              |              |  |  |                              |       |  |  |  |                               |                |                   |  |  |                               |                |               |
| RETAIL (a)  | 136.0 KSF  | 2 SPACE PER KSF   | 272  | 230  |  |  |  |          |      |                         |                      |   |                |            |                      |    |  |  |               |                      |    |  |  |              |                      |    |  |  |              |                        |    |  |  |                        |  |            |            |       |               |                  |    |  |  |                |                    |   |  |  |               |                    |    |  |  |                        |  |           |           |        |                                    |                 |       |       |  |  |                 |     |     |  |                          |  |              |              |            |           |                 |     |     |                |          |                 |     |     |                              |          |                 |     |     |              |  |  |              |              |  |  |                              |       |  |  |  |                               |                |                   |  |  |                               |                |               |
| RESTAURANT (a)  | 80.6 KSF   | 2 SPACE PER KSF   | 175  | 158  |  |  |  |          |      |                         |                      |   |                |            |                      |    |  |  |               |                      |    |  |  |              |                      |    |  |  |              |                        |    |  |  |                        |  |            |            |       |               |                  |    |  |  |                |                    |   |  |  |               |                    |    |  |  |                        |  |           |           |        |                                    |                 |       |       |  |  |                 |     |     |  |                          |  |              |              |            |           |                 |     |     |                |          |                 |     |     |                              |          |                 |     |     |              |  |  |              |              |  |  |                              |       |  |  |  |                               |                |                   |  |  |                               |                |               |
| STUDIO / EVENT / GALLERY (a)  | 93.6 KSF   | 2 SPACE PER KSF   | 187  | 178  |  |  |  |          |      |                         |                      |   |                |            |                      |    |  |  |               |                      |    |  |  |              |                      |    |  |  |              |                        |    |  |  |                        |  |            |            |       |               |                  |    |  |  |                |                    |   |  |  |               |                    |    |  |  |                        |  |           |           |        |                                    |                 |       |       |  |  |                 |     |     |  |                          |  |              |              |            |           |                 |     |     |                |          |                 |     |     |                              |          |                 |     |     |              |  |  |              |              |  |  |                              |       |  |  |  |                               |                |                   |  |  |                               |                |               |
| <b>TOTAL</b>  |  |   | <b>2,830</b>   | <b>2,740</b>   |  |  |  |          |      |                         |                      |   |                |            |                      |    |  |  |               |                      |    |  |  |              |                      |    |  |  |              |                        |    |  |  |                        |  |            |            |       |               |                  |    |  |  |                |                    |   |  |  |               |                    |    |  |  |                        |  |           |           |        |                                    |                 |       |       |  |  |                 |     |     |  |                          |  |              |              |            |           |                 |     |     |                |          |                 |     |     |                              |          |                 |     |     |              |  |  |              |              |  |  |                              |       |  |  |  |                               |                |                   |  |  |                               |                |               |
|   |  | # OF PARKING SPACES PROVIDED  | 2,000  |  |  |  |  |          |      |                         |                      |   |                |            |                      |    |  |  |               |                      |    |  |  |              |                      |    |  |  |              |                        |    |  |  |                        |  |            |            |       |               |                  |    |  |  |                |                    |   |  |  |               |                    |    |  |  |                        |  |           |           |        |                                    |                 |       |       |  |  |                 |     |     |  |                          |  |              |              |            |           |                 |     |     |                |          |                 |     |     |                              |          |                 |     |     |              |  |  |              |              |  |  |                              |       |  |  |  |                               |                |                   |  |  |                               |                |               |
|   |  | # OF BI-CYCLE SPACES REQUIRED   | 275 SHORT TERM   | 854 LONG TERM (a)  |  |  |  |          |      |                         |                      |   |                |            |                      |    |  |  |               |                      |    |  |  |              |                      |    |  |  |              |                        |    |  |  |                        |  |            |            |       |               |                  |    |  |  |                |                    |   |  |  |               |                    |    |  |  |                        |  |           |           |        |                                    |                 |       |       |  |  |                 |     |     |  |                          |  |              |              |            |           |                 |     |     |                |          |                 |     |     |                              |          |                 |     |     |              |  |  |              |              |  |  |                              |       |  |  |  |                               |                |                   |  |  |                               |                |               |
|   |  | # OF BI-CYCLE SPACES PROVIDED   | 278 SHORT TERM   | 854 LONG TERM  |  |  |  |          |      |                         |                      |   |                |            |                      |    |  |  |               |                      |    |  |  |              |                      |    |  |  |              |                        |    |  |  |                        |  |            |            |       |               |                  |    |  |  |                |                    |   |  |  |               |                    |    |  |  |                        |  |           |           |        |                                    |                 |       |       |  |  |                 |     |     |  |                          |  |              |              |            |           |                 |     |     |                |          |                 |     |     |                              |          |                 |     |     |              |  |  |              |              |  |  |                              |       |  |  |  |                               |                |                   |  |  |                               |                |               |
| <b>BUILDING HEIGHT</b>  | <b>FLOOR AREA</b>  | <b>RESIDENTIAL DENSITY</b>  | <b>LOT AREA &amp; BUILDABLE AREA</b>   |  |  |  |  |          |      |                         |                      |   |                |            |                      |    |  |  |               |                      |    |  |  |              |                      |    |  |  |              |                        |    |  |  |                        |  |            |            |       |               |                  |    |  |  |                |                    |   |  |  |               |                    |    |  |  |                        |  |           |           |        |                                    |                 |       |       |  |  |                 |     |     |  |                          |  |              |              |            |           |                 |     |     |                |          |                 |     |     |                              |          |                 |     |     |              |  |  |              |              |  |  |                              |       |  |  |  |                               |                |                   |  |  |                               |                |               |
| EXISTING HEIGHT: 51'<br>ALLOWABLE BLDG. HEIGHT: (PER EXISTING HEIGHT DISTRICT NO. 1 (C)(2)(A)(1)) 40' MAX.<br>PROPOSED BLDG. HEIGHTS: (PER EXISTING HEIGHT DISTRICT NO. 3 (C)(2)(A)(1)) 40' MAX.<br>BUILDING 1: 300'<br>BUILDING 2: 270'<br>BUILDING 3: 180'<br>BUILDING 4: 90'<br>BUILDING 5: 300' | EXISTING F.A. (PSR HEIGHT DISTRICT NO. 1) 1.5:1<br>PROPOSED F.A. (PER HEIGHT DISTRICT NO. 3)<br>ALLOWABLE FLOOR AREA (PER HEIGHT DISTRICT NO. 3)<br>PROJECT F.A. (A): 7.8:1<br>PROJECT FLOOR AREA:<br>BUILDING 1: 466,554 SF<br>BUILDING 2: 351,517 SF<br>BUILDING 3: 239,546 SF<br>BUILDING 4: 70,954 SF<br>BUILDING 5: 944,050 SF<br>TOTAL: 1,772,621 SF | ENTWELLING UNITS ALLOWED: 87.5 UNITS<br><br>ENTWELLING UNITS PROPOSED IN CURRENT PLAN (SUBJECT TO CHANGE):<br><br>50% TOTAL UNITS: 10% RESERVED FOR AFFORDABLE HOUSING (IN CONFORMANCE WITH MEASURE JJ)   | GROSS LOT AREA BEFORE PROPOSED VACATIONS OR DEDICATIONS: 201,151 SF (4.6 AC)<br>NET LOT AREA AFTER PROPOSED VACATIONS OR DEDICATIONS: 224,205 SF (5.14 AC)   |  |  |  |  |          |      |                         |                      |   |                |            |                      |    |  |  |               |                      |    |  |  |              |                      |    |  |  |              |                        |    |  |  |                        |  |            |            |       |               |                  |    |  |  |                |                    |   |  |  |               |                    |    |  |  |                        |  |           |           |        |                                    |                 |       |       |  |  |                 |     |     |  |                          |  |              |              |            |           |                 |     |     |                |          |                 |     |     |                              |          |                 |     |     |              |  |  |              |              |  |  |                              |       |  |  |  |                               |                |                   |  |  |                               |                |               |



**670 Mesquit**  
870 MESQUIT STREET  
LOS ANGELES, CA 90021

DATE: 01/23/2017  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: 1"=40'  
DATE: 01/23/2017  
PROJECT NO.: 8275



**LEGEND**

--- PROPERTY LINE FOLLOWING STREET VACATIONS

□ PROPOSED BUILDING

**KEYNOTES:**

- TRUCK/DOLDRY ENTRY BELOW 7TH STREET BRIDGE
- EXISTING AMTAK EASEMENT
- HOTEL (P/F - OFF)
- RAILYARD (MULTIPLE OWNERS)
- LADWP PROPERTY
- 6TH STREET VIADUCT (PROJECT UNDER CONSTRUCTION)
- EAST 5TH STREET (PROPOSED)
- CONNECTION TO RECREATIONAL OPEN SPACE

**PROGRESS PRINT  
NOT FOR CONSTRUCTION**

PLAN NORTH

0 30' 60' 120'

IF SHEET IS LESS THAN 24" X 36", THIS IS A REDUCED SCALE. VERIFY SCALE ACCORDINGLY.

NO. DATE CHECKED FOR BY

DATE: 01/23/2017  
PROJECT NO.: 8275

**PLOT PLAN**

SHEET FILE

**G-101**

APN: 5164-016-009 - 010 - 000 (PORTION)

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF LOTS 75 THROUGH 87, INCLUSIVE, OF THE GOODWIN TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 11, PAGE 42, OF MISCELLANEOUS RECORDS, ALSO BEING A PORTION OF PARCEL 3-A, AS PER DEED RECORDED JANUARY 13, 1917, AS INSTRUMENT NO. 77-45688, OF OFFICIAL RECORDS, BOTH IN THE OFFICE OF COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE WESTERLY TERMINUS OF THAT CERTAIN COURSE DESCRIBED WITHIN PARCEL 3-A OF SAID DEED RECORDED ON JANUARY 13, 1917 AS INSTRUMENT NO. 77-45688, S SATED THEREIN AS NORTH 84° 47' 12" EAST 152.81 FEET; SAID POINT ALSO BEING THE INTERSECTION OF THE WESTERLY LINE OF THAT CERTAIN DEED RECORDED SEPTEMBER 26, 1924, IN BOOK 4052, PAGE 242, OF OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, WITH THE SOUTHERLY LINE OF THAT CERTAIN DEED BEING THE FINAL ORDER OF CONDEMNATION DOCUMENT, RECORDED OCTOBER 28, 1931, AS CASE NO. 286924, SUPERIOR COURT CASE.

THENCE, LEAVING SAID INTERSECTION, ALONG SAID SOUTHERLY LINE, NORTH 84° 50' 00" EAST 83.00 FEET;

THENCE, LEAVING SAID SOUTHERLY LINE, SOUTH 11° 02' 32" EAST 110.85 FEET;

THENCE, ALONG LAST SAID SOUTHERLY LINE, SOUTH 11° 02' 32" EAST 110.85 FEET;

THENCE, ALONG LAST SAID WESTERLY LINE, NORTH 10° 10' 43" WEST 339.95 FEET, TO THE SOUTHERLY LINE OF THE LAND DESCRIBED WITHIN SAID DEED RECORDED SEPTEMBER 26, 1924 IN BOOK 4052, PAGE 242, OF OFFICIAL RECORDS;

THENCE, ALONG SAID SOUTHERLY LINE, SAID LINE ALSO DESCRIBED WITHIN PARCEL 3-A OF SAID DEED RECORDED JANUARY 13, 1917 AS INSTRUMENT NO. 77-45688, SOUTH 84° 00' 00" WEST 62.43 FEET, TO THE WESTERLY LINE OF THE LAND DESCRIBED WITHIN SAID DEED RECORDED SEPTEMBER 26, 1924 IN BOOK 4052, PAGE 242, OF OFFICIAL RECORDS;

THENCE, ALONG LAST SAID WESTERLY LINE, SAID LINE ALSO DESCRIBED WITHIN PARCEL 3-A OF SAID DEED RECORDED JANUARY 13, 1917 AS NO. 77-45688, NORTH 5° 20' 00" WEST 150.00 FEET, TO THE POINT OF BEGINNING.

SAID LAND IS DESCRIBED AND DELINEATED ON CERTIFICATE OF COMPLIANCE LOT LINE ADJUSTMENT, PARCEL MAP EXEMPTION NO. 2009-4029, RECORDED JUNE 9, 2010 AS INSTRUMENT NO. 10-785275 OFFICIAL RECORDS.

EXCEPT THEREFROM ALL MINERALS, OIL, GAS AND OTHER HYDROCARBONS, AS WELL AS METALLIC OR OTHER SOLID MINERALS, WITHOUT THE RIGHT TO GO UPON OR USE THE SURFACE OF SAID LAND, OR ANY PART THEREOF, FOR THE PURPOSE OF DRILLING FOR, MINING, OR OTHERWISE REMOVING, ANY OF SAID MINERAL, BUT WITH THE RIGHT HOWEVER, TO REMOVE ANY OF SAID MINERALS FROM SAID LAND BY MEANS OF WELLS, SHAFTS, TUNNELS, OR OTHER MEANS OF ACCESS TO SAID MINERALS WHICH MAY BE CONSTRUCTED, DRILLED OR DUG FROM OTHER LAND, PROVIDED THAT EXERCISE OF SUCH RIGHTS SHALL IN NO WAY INTERFERE WITH OR IMPAIR THE USE OF THE SURFACE OF SAID LAND OR OF ANY IMPROVEMENTS THEREON, AS RESERVED BY ATTACHMENT 10 PERKA AND SANTA FE RAILWAY COMPANY, IN DEED RECORDED JANUARY 13, 1917 AS INSTRUMENT NO. 77-45688 OF OFFICIAL RECORDS.

APN: 5164-017-002, 003 and 009

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1: LOTS 269 TO 279 INCLUSIVE, OF THE WINGERTER TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 15, PAGE 52 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM THAT PORTION OF SAID LOT 269 LYING NORTHERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT A POINT IN THE EAST LINE OF MESQUIT STREET, 50 FEET WIDE, AS SHOWN ON SAID MAP, DISTANT NORTH 5° 17' WEST, ALONG SAID EAST LINE, 403.57 FEET FROM THE SOUTHWEST CORNER OF LOT 279 OF SAID WINGERTER TRACT, THENCE NORTH 84° 40' 20" EAST 118.32 FEET, MORE OR LESS TO THE EASTERLY LINE OF SAID LOT 269.

ALSO EXCEPTING THEREFROM THOSE PORTIONS OF SAID LOTS 275, 277, 278 AND 279, LYING SOUTHERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT THE SOUTHWESTERLY CORNER OF SAID LOT 275, WHICH POINT IS THE NORTH-EASTERLY CORNER OF MESQUIT STREET 50 FEET AND SEVENTH STREET, AS SHOWN ON MAP OF SAID TRACT, THENCE ALONG THE WESTERLY LINE OF SAID LOT 275 AND THE EASTERLY LINE OF SAID MESQUIT STREET NORTH 5° 17' 00" WEST 132.50 FEET TO THE TRUE POINT OF BEGINNING, THENCE LEAVING SAID WESTERLY LINE OF SAID MESQUIT STREET AT RIGHT ANGLES NORTH 84° 40' 00" EAST 163.58 FEET, MORE OR LESS, TO A POINT IN THE EASTERLY LINE OF SAID LOT 279 WHICH IS DISTANT THEREON NORTH 10° 38' 50" WEST 141.89 FEET FROM THE SOUTHEASTERLY CORNER THEREOF.

PARCEL 2: ALL OF LOTS 255, 256, 267 AND 268 AND THOSE PORTIONS OF LOTS 254 AND 269 OF THE WINGERTER TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AS SHOWN ON MAP RECORDED IN BOOK 15, PAGE 52 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS A WHOLE AS FOLLOWS:

BEGINNING AT A POINT IN THE EAST LINE OF MESQUIT STREET, DISTANT NORTH 5° 17' WEST THEREON 423.57 FEET FROM THE SOUTHWEST CORNER OF LOT 276 OF SAID TRACT, THENCE NORTH 84° 40' 20" EAST 130.32 FEET TO A POINT IN THE EASTERLY LINE OF SAID LOT 269, THENCE NORTH 10° 38' 50" WEST, ALONG THE EASTERLY LINES OF SAID LOTS 269 TO 254 INCLUSIVE, TO A LINE THAT BEARS NORTH 84° 45' 14" EAST FROM A POINT IN THE WESTERLY LINE OF SAID LOT 254 DISTANT NORTH 5° 17' WEST THEREON 23.75 FEET FROM THE SOUTHWEST CORNER OF SAID LOT 264, THENCE SOUTH 84° 48' 14" WEST TO SAID WESTERLY LINE OF LOT 254, THENCE SOUTH 5° 17' EAST, ALONG THE WESTERLY LINES OF SAID LOTS, TO THE POINT OF BEGINNING.

PARCEL 3: THAT PORTION OF LOTS 275, 277, 278 AND 279 OF THE WINGERTER TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 15, PAGE 52 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING SOUTHERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT THE SOUTHEASTERLY CORNER OF SAID LOT 275, WHICH POINT IS THE NORTHEASTERLY CORNER OF MESQUIT STREET, 50 FEET WIDE, AND 7TH STREET, AS SHOWN ON MAP OF SAID TRACT, THENCE ALONG THE WESTERLY LINE OF SAID LOT 275 AND THE EASTERLY LINE OF SAID MESQUIT STREET, NORTH 5° 17' 00" WEST 132.50 FEET TO THE TRUE POINT OF BEGINNING, THENCE LEAVING SAID WESTERLY LINE AND SAID MESQUIT STREET AT RIGHT ANGLES, NORTH 84° 42' 00" EAST 163.58 FEET, MORE OR LESS, TO A POINT IN THE EASTERLY LINE OF SAID LOT 279, 151.89 FEET FROM THE SOUTHEASTERLY CORNER THEREOF.

PARCEL 4: A PORTION OF LAND IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, WITHIN THAT CERTAIN TRACT, CITY LANDS OF LOS ANGELES AS PER MAP FILED IN BOOK 2, PAGES 504 AND 505, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 275, WINGERTER TRACT, AS PER MAP FILED IN BOOK 15, PAGE 52 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, SAID POINT ALSO BEING ON THE NORTHERLY RIGHT OF WAY LINE OF SEVENTH STREET, 80.00 FEET WIDE, AS SHOWN ON SAID WINGERTER TRACT; THENCE EASTERLY ALONG SAID NORTHERLY RIGHT OF WAY LINE, SOUTH 89° 24' 00" EAST 13.58 FEET, THENCE LEAVING SAID NORTHERLY RIGHT OF WAY LINE NORTH 12° 45' 45" WEST, 154.59 FEET TO A POINT ON THE EASTERLY PROLONGATION OF THE NORTHERLY LINE OF SAID LOT 279; THENCE WESTERLY ALONG SAID EASTERLY PROLONGATION NORTH 84° 43' 00" WEST, 13.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 279; THENCE ALONG THE EASTERLY LINE OF SAID LOT 279, SOUTH 10° 38' 00" EAST 151.86 FEET TO THE POINT OF BEGINNING.

APN: 5164-016-009

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN CITY OF LOS ANGELES, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1: THOSE PORTIONS OF LOTS 85 TO 90 INCLUSIVE OF THE GOODWIN TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED OCTOBER 5, 1888 IN BOOK 11, PAGE 42 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER, LYING WESTERLY OF THE WESTERLY LINE OF THE LANDS NOW OR FORMERLY OWNED BY SOUTHERLY CALIFORNIA RAILWAY TOGETHER WITH THAT PORTION OF LOT 91 OF SAID GOODWIN TRACT, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 91; THENCE EASTERLY ALONG THE NORTH LINE OF SAID LOT, 163.74 FEET, MORE OR LESS TO THE MOST WESTERLY LINE OF LAND OF SOUTHERN CALIFORNIA RAILWAY COMPANY; THENCE ALONG SAID WEST LINE SOUTH 10° 36' EAST 20.06 FEET TO THE NORTH LINE OF THE LAND DESCRIBED IN THE EXCEPTION FROM PARCEL 1, IN THE DEED TO CALIFORNIA CONSUMERS CORPORATION, RECORDED IN BOOK 7129, PAGE 63 OF OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER; THENCE ALONG SAID NORTH LINE 84° 43' 30" WEST 106.83 FEET, MORE OR LESS, TO THE EAST LINE OF MESQUIT STREET, THENCE ALONG THE EASTERLY LINE NORTH 4° 17' WEST 30.04 FEET TO THE POINT OF BEGINNING.

PARCEL 2: ALL OF LOTS 262 AND 263, TOGETHER WITH THAT PORTION OF LOT 264 OF THE WINGERTER TRACT IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED MARCH 26, 1887 IN BOOK 15, PAGE 52 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 264; THENCE SOUTH 5° 17' EAST 19.25 FEET; THENCE NORTH 84° 45' 14" EAST 119.21 FEET TO THE EAST LOT 254; THENCE NORTH 10° 36' WEST TO THE NORTH LINE OF SAID LOT 254; THENCE WEST ALONG THE NORTH LINE OF SAID LOT 254, 117.64 FEET TO THE POINT OF BEGINNING.

PARCEL 3: THAT PORTION OF LOTS 91 AND 92 OF THE GOODWIN TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED OCTOBER 5, 1888 IN BOOK 11, PAGE 42 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER, TOGETHER WITH A TRIANGULAR PIECE ADJOINING LOT 92 ON THE SOUTH BEING DESCRIBED AS A WHOLE AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 91; THENCE SOUTHERLY ALONG THE EAST LINE OF MESQUIT STREET TO THE NORTH LINE OF LOT 262 OF THE WINGERTER TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED MARCH 26, 1887 IN BOOK 15, PAGE 52 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER; THENCE EASTERLY ALONG THE NORTH LINE OF SAID LOT 262, 110.16 FEET, MORE OR LESS, TO THE WEST LINE OF LAND OF OR FORMERLY OF SOUTHERLY CALIFORNIA RAILWAY COMPANY; THENCE ALONG SAID WEST LINE TO THE NORTH LINE OF SAID LOT 91; THENCE WESTERLY ALONG NORTH LINE OF SAID LOT 91 TO THE POINT OF BEGINNING.

EXCEPTING FROM SAID PORTION OF SAID LOT 91 THAT PORTION LYING NORTHERLY OF THE NORTH LINE OF THE LAND DESCRIBED IN THE EXCEPTION FROM PARCEL 1, IN THE DEED TO CALIFORNIA CONSUMER CORPORATION, RECORDED IN BOOK 7129, PAGE 63 OF OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER.

APN: 5164-018-000

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOTS 246 TO 252 INCLUSIVE OF WINGERTER TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 15, PAGE 52 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.



Form with fields for Name, Address, City, State, Zip, and other contact information for 670 Mesquit.

PROGRESS PERMIT NOT FOR CONSTRUCTION

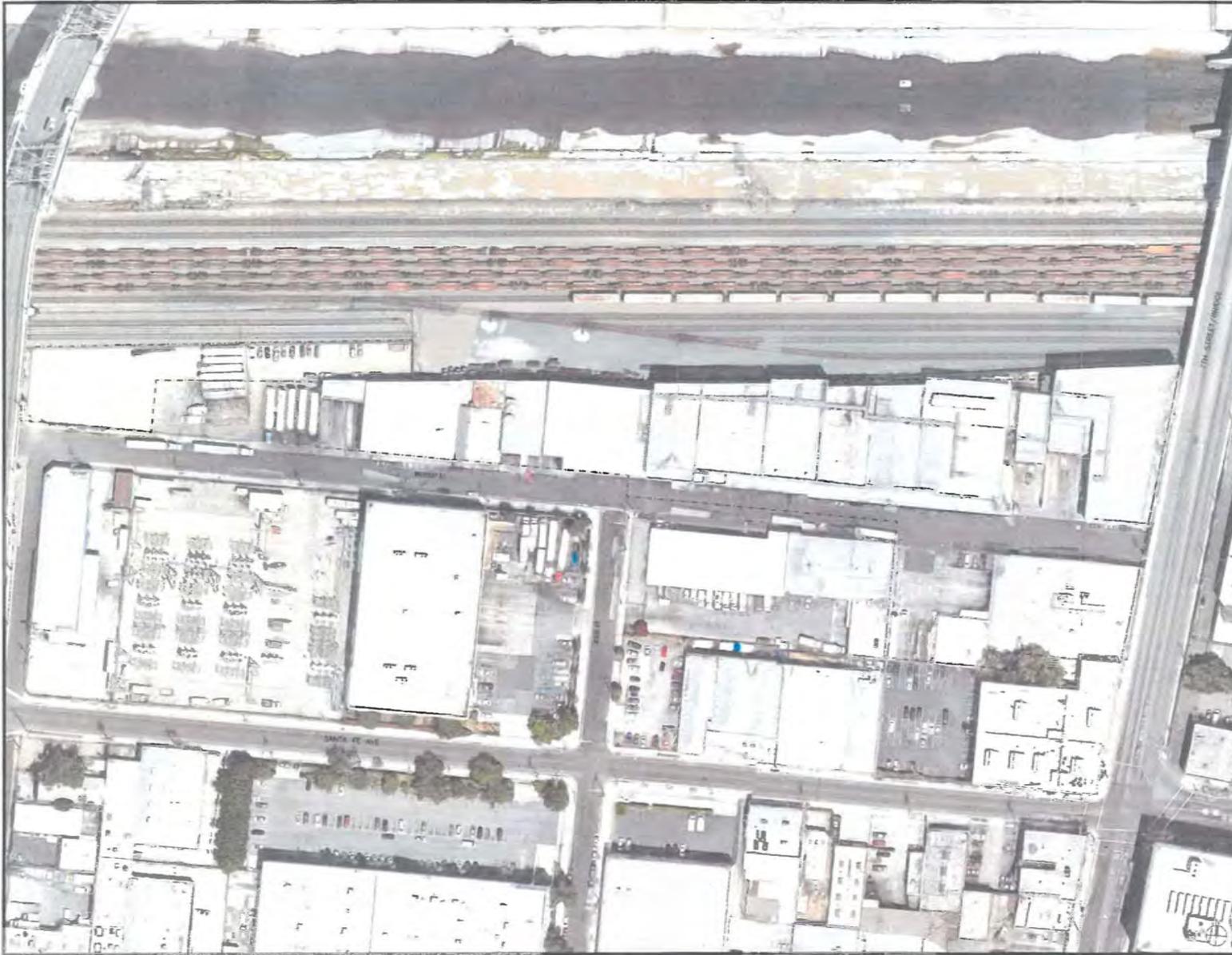
IF SHEET IS LESS THAN 24" X 36", THIS IS A REDUCED SCALE DRAWING.

DATE: 01/25/2017

PROJECT NO: 6275

LEGAL DESCRIPTION

PARCEL 1:



**670 Mesquit**



- CLIENT  
PIONEER CALIFORNIA HOLDINGS, INC.  
670 MESQUIT ST.  
LOS ANGELES, CA 90021  
T+1 323 628 7800
- ARCHITECT  
JACOBY FREEMAN & CO  
3800 CRENSHAW BLVD  
NEW YORK, NY 10021  
T+1 212 512 2000
- CLIENT REPRESENTATIVE  
PLUS REPRESENTATIVE GROUP  
1000 WILSON BLVD  
WEST HOLLYWOOD, CA 90260  
T+1 310 307 3000
- GENERAL ARCHITECT  
SOL. GARDNER ARCHITECT GROUP  
311 WILSON BLVD 2ND FL  
WEST HOLLYWOOD, CA 90260  
T+1 310 307 3000
- ARCHITECT OF RECORD  
PETER WOODRUFF  
3333 SAN VICENTE BLVD 5TH FLOOR  
LOS ANGELES, CA 90018  
T+1 323 877 5000
- LANDSCAPE ARCHITECT  
SUNSHINE GROUP ARCHITECTS  
1000 WILSON BLVD 2ND FLOOR  
LOS ANGELES, CA 90021  
T+1 323 312 3000
- STRUCTURAL ENGINEER  
MCKINNEY CONSULTANTS  
JOB CENTER, 901 WILSON BLVD 10TH FLOOR  
LOS ANGELES, CA 90018  
T+1 323 321 7000
- MEP ENGINEER  
MARC  
1000 WILSON BLVD 2ND FLOOR  
LOS ANGELES, CA 90021  
T+1 323 312 3000
- MECHANICAL ENGINEER  
PETER WOODRUFF  
3333 SAN VICENTE BLVD 5TH FLOOR  
LOS ANGELES, CA 90018  
T+1 323 877 5000

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PROGRESS PRINT  
NOT FOR CONSTRUCTION

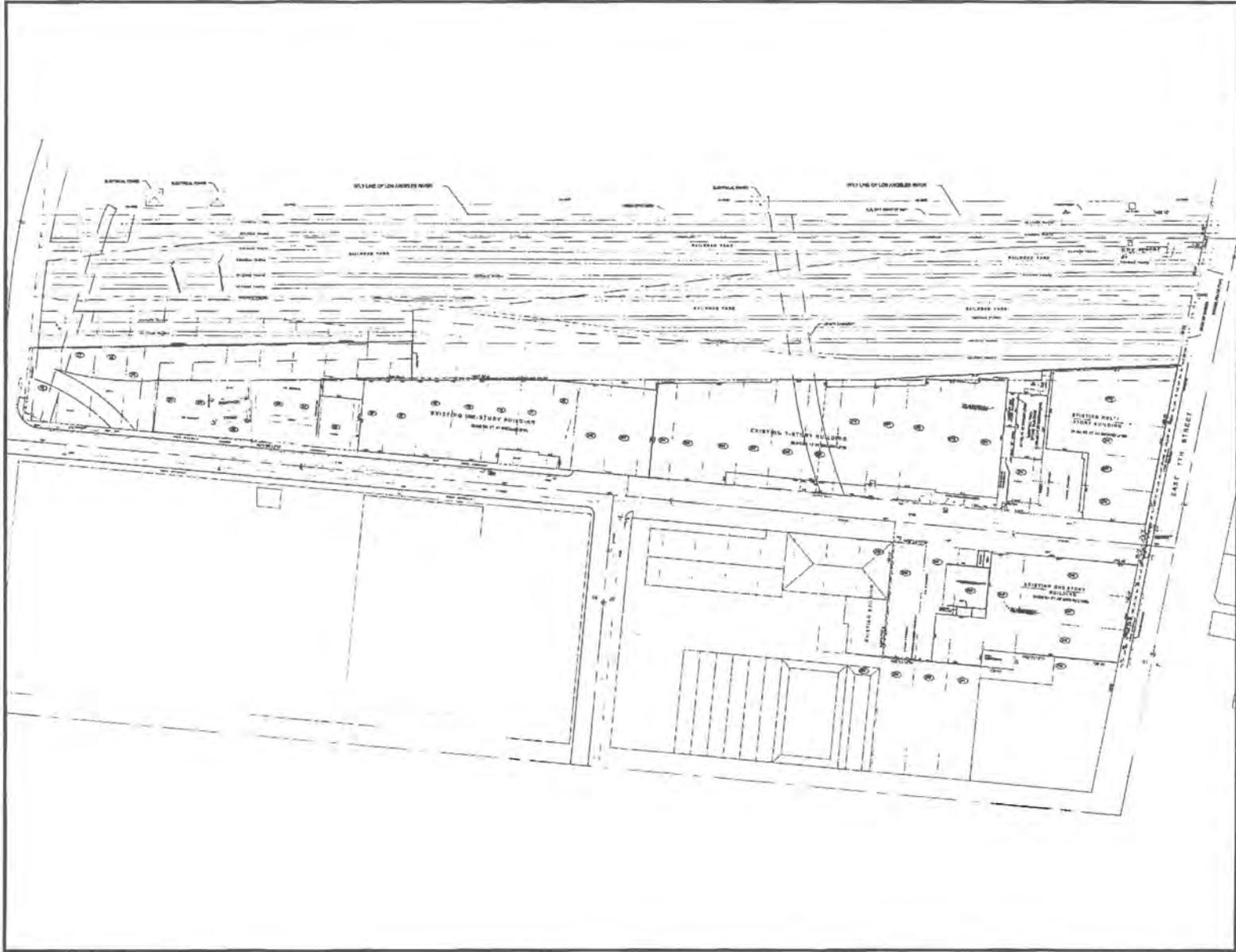


IF SHEET IS LESS THAN 24" X 36", THIS IS A REDUCED PRINT. RESUME SCALE ACCORDINGLY.

| NO. | DATE | REVISED FOR | BY |
|-----|------|-------------|----|
|     |      |             |    |
|     |      |             |    |
|     |      |             |    |

DATE PREPARED: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 SCALE: 1"=40'  
 DATE: 01/23/2017  
 PROJECT NO: 6275

EXISTING SITE  
 SHEET TITLE: \_\_\_\_\_  
 SHEET NO: **G-104**  
 SHEET NO: \_\_\_\_\_



**670 Mesquit**



670 MESQUIT STREET  
LOS ANGELES, CA 90021

- OWNER  
PLANNING DEVELOPMENT HOLDINGS, INC.  
10000 WILSON BLVD.  
LOS ANGELES, CA 90024  
T + 1 213 885 8888
- ARCHITECT  
SUSAN WILSON ARCHITECTS  
10000 WILSON BLVD.  
LOS ANGELES, CA 90024  
T + 1 213 885 8888
- ENGINEER  
SUSAN WILSON ARCHITECTS  
10000 WILSON BLVD.  
LOS ANGELES, CA 90024  
T + 1 213 885 8888
- LANDSCAPE ARCHITECT  
SUSAN WILSON ARCHITECTS  
10000 WILSON BLVD.  
LOS ANGELES, CA 90024  
T + 1 213 885 8888
- STRUCTURAL ENGINEER  
THOMAS J. CONNORS  
10000 WILSON BLVD.  
LOS ANGELES, CA 90024  
T + 1 213 885 8888

- DATE  
1/13/2017
- SCALE  
1" = 20'
- PROJECT NO.  
670

PROGRESS PRINT  
NOT FOR CONSTRUCTION

PLAN  
NOTES

0 20' 50' 100'

F SHEET IS LESS THAN 24" X 36". THIS IS A REDUCED PRINT. REDUCE SCALE ACCORDINGLY.

| NO. | DATE | REVISIONS FOR | BY |
|-----|------|---------------|----|
|     |      |               |    |
|     |      |               |    |
|     |      |               |    |

DATE: 01/23/2017  
PROJECT NO.: 670

EXISTING SITE PLAN

SHEET NO. **G-105**

DATE: 01/23/2017





EQUITABLE PARKS & AMENITIES  
DECISION SUPPORT SYSTEM

VTT-74765 - Project Location & Surrounding Parks

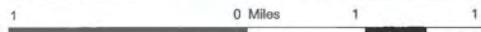
ATTACHMENT 2



LEGEND

- City Council Districts
- Existing Parks
- Non-RAP
- RAP
- City Limits

NOTES



SCALE 1: 36,112

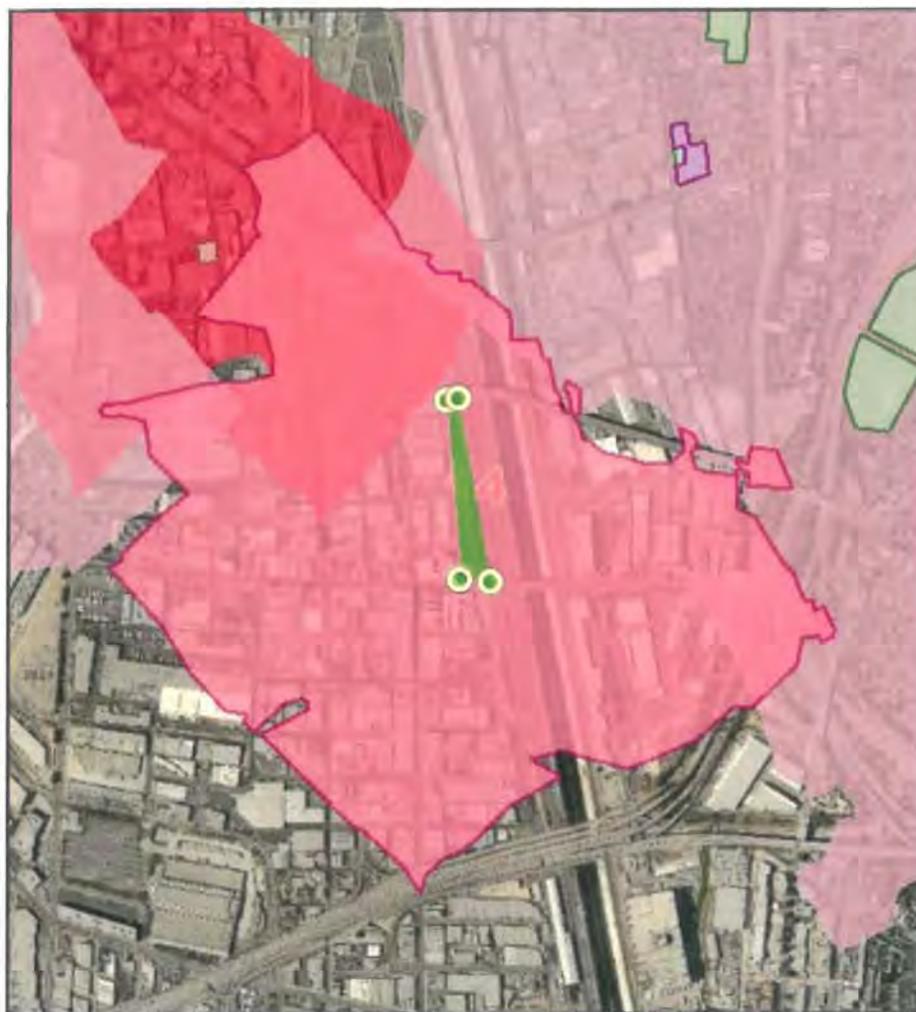
Disclaimer: This map is for informational purposes only and relies on data from a variety of sources, which may or may not be accurate or current. The City of Los Angeles assumes no responsibility arising from the use of this map. The map and associated data are provided "as is" without warranty of any kind.

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Printed: 03/13/2017



EQUITABLE PARKS & AMENITIES  
DECISION SUPPORT SYSTEM

# Park Analysis Report



## Scenario Information

Scenario Name:

VTT-74765 - 670 Mesquit Street

Description:

mixed-use project consisting of 308 dwelling units, 50 of which are affordable dwelling units

Scenario Type:

New Park

Park Class:

Improved

Baseline Dataset\*:

All Parks (RAP and Non-RAP)

\*The baseline dataset is the existing parks dataset whose service areas are used to calculate the currently non-served metrics given below in blue. These residents and households, which would be served by the proposed park, are not currently served by any existing park in the baseline dataset.

## Population and Age Breakdown

|                                | Total Residents Served: | Currently Non-Served Residents Served: |
|--------------------------------|-------------------------|--|
| Residents Served:              | 608                     | 604                                    |
| <i>Residents Served by Age</i> |                         |  |
| Under Age 5:                   | 14                      | 14                                     |
| Age 5 to 9:                    | 11                      | 10                                     |
| Age 10 to 14:                  | 11                      | 9                                      |
| Age 15 to 17:                  | 7                       | 7                                      |
| Age 18 to 64:                  | 539                     | 539                                    |
| Age 65 and Over:               | 26                      | 25                                     |

## Household and Income Breakdown

|   | Total Households Served: | Currently Non-Served Households Served: |
|---|--------------------------|---|
| Households Served:                        | 365                      | 365                                     |
| <i>Households Served by Annual Income</i> |                          |   |
| Under \$25,000:                           | 176                      | 176                                     |
| \$25,000 to \$34,999:                     | 23                       | 23                                      |
| \$35,000 to \$49,999:                     | 34                       | 34                                      |
| \$50,000 to \$74,999:                     | 28                       | 28                                      |
| \$75,000 and Over:                        | 104                      | 104                                     |

Source: Census/ACS 2010

**BOARD REPORT**

NO. 17-087

DATE April 05, 2017

C.D. 6

**BOARD OF RECREATION AND PARK COMMISSIONERS**

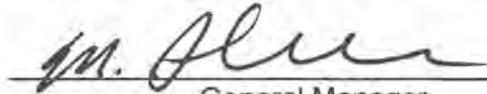
SUBJECT: STRATHERN PARK NORTH BASEBALL FIELD LIGHTING (PRJ21028)  
(W.O. #E170414F) PROJECT – APPROVAL OF FINAL PLANS

*for*

AP Diaz  
R. Barajas  
H. Fujita

CSD

V. Israel  
N. Williams

  
General Manager

Approved \_\_\_\_\_

Disapproved \_\_\_\_\_

Withdrawn \_\_\_\_\_

RECOMMENDATIONS

Approve the final plans and specifications substantially in the form on file with the Board Office, for the Strathern Park North Baseball Field Lighting (PRJ21028) (W.O. #E170414F) Project;

SUMMARY

Strathern Park North is located at 8041 Whitsett Avenue in the Sun Valley community of the City. This 12.74 acre facility provides four (4) ball diamonds for the use of the surrounding community. An estimated Three Thousand Three Hundred Seventy Six (3,376) City residents live within a one-half (1/2) mile walking distance of Strathern Park North. Due to the facilities and programs it provides, Strathern Park North meets the standard for a Community Park, as defined in the City's Public Recreation Plan.

The Strathern Park North Baseball Field Lighting Project (Project) is a Proposition K 8<sup>th</sup> Cycle Competitive grant project.

The Project scope of work consists of constructing new sports field lighting for Baseball Field No. 3 and No. 4, located at the southern area of the site. The work includes installation of nine (9) light poles that are approximately seventy (70) feet in height, the removal of one tree and planting trees as discussed in the Trees and Shade section of this report, and related landscape and irrigation.

The Department of Public Works, Bureau of Engineering (BOE) Architectural Division prepared the plans and specifications, and obtained all the necessary approvals for the Project. As required by Proposition K, the project was presented to the community. The first Local Volunteer Neighborhood Oversight Committee (LVNOC) meeting was conducted on September 30, 2014. Residents and stakeholders surrounding the park attended the meeting. The second and third LVNOC meetings were concluded on March 30, 2016. The community, the LVNOC, and Council District 6 are in support of the proposed Project.

BOARD REPORT

PG. 2 NO. 17-087

After review by the Department of Recreation and Parks (RAP) and BOE, it was determined that the work can be performed by RAP's pre-qualified on call contractors. Staff recommends the Project be constructed by the on call contractors and for BOE to provide construction management services in the construction of these improvements.

The Project is partially funded with Community Development Block Grant (CDBG) funds. As a requirement of the CDBG funds, the bid process and the selected contractor on the Project must comply with CDBG requirements.

Sufficient funds are available for the construction and construction contingencies from the following fund and accounts:

| <u>FUNDING SOURCE</u>   | <u>FUND/DEPT./ACCT. NO.</u> |
|-------------------------|-----------------------------|
| Proposition K – Year 17 | 44S/10/10H002               |
| CDBG                    | 424/43/43N469               |

TREES AND SHADE

Due to the installation of new light poles to achieve required illumination levels and with the approval of the RAP Forestry Division, a mature (Populus Fremontii) cottonwood tree will be removed and replaced with ten (10) 24-inch boxed (Lophostemon Confertus) Brisbane trees. If this mature cottonwood tree is not removed, two (2) additional new light poles would have to be installed to meet the same illumination requirement (Attachment A).

ENVIRONMENTAL IMPACT STATEMENT

This Project was previously evaluated for environmental impacts in accordance with California Environmental Quality Act (CEQA) based on City Council approval of the Project as part of the Proposition K Assessment in June 2012, and the completion of the required community review process for the development of final project plans. The Project involves the placement of new sports field lights that are accessory to the existing baseball field, and therefore, was determined to be categorically exempt from the provisions of CEQA pursuant to Article III, Section 1k, Class 11(6) of the City CEQA Guidelines. A Notice of Exemption (NOE) was filed with the Los Angeles City Clerk and the Los Angeles County Clerk on June 22, 2016. Staff has determined that this Project and the environmental conditions of the site have not substantially changed since the previous evaluation. Therefore, no additional CEQA determination or documentation is required.

BOARD REPORT

PG. 3 NO. 17-087

FISCAL IMPACT STATEMENT:

The proposed construction Project is fully funded by Proposition K and CDBG funds. When completed the Project provides lighting to existing park amenities. Therefore, approval of the plans has no immediate impact to RAP's General Fund. Any utility increases for the increased power usage will be included in the RAP's General Funds request.

This report was prepared by Erick Chang, Project Manager, Architectural Division, BOE, and reviewed by Neil Drucker, Program Manager, Architectural Division, BOE, Mahmood Karimzadeh, Division Manager, Architectural Division, BOE, Deborah Weintraub, Chief Deputy City Engineer, BOE, and Cathie Santo Domingo, Superintendent, Planning, Maintenance and Construction Branch.

LIST OF ATTACHMENTS

1. Attachment A

(01) EXISTING TREE TO BE REMOVED:



POPULUS FREMONTII  
COTTONWOOD

(10) NEW TREES TO BE PLANTED:



LOPHOSTEMON CONFERTUS  
BRISBANE BOX

WHITSETT AVE

EXISTING TREE TO BE REMOVED.  
LOCATION OF PROPOSED NEW LIGHT POLE

STRATHERN ST.

10 NEW TREES TO BE PLANTED



1" = 32'

# STRATHERN PARK NORTH







STRATHEN PARK NORTH  
FIELD LIGHTING, TREE PLANTING & IRRIGATION  
E17014  
TABLE OF CONTENTS

| SECTION | SECTION TITLE  |
|---------|--|
| 1       | Construction Notes - General                             |
| 2       | General Disturbance                                      |
| 3       | General  |
| 4       | Class I/II Planting and Miscellaneous Plant Construction |

CONSTRUCTION NOTES

**GENERAL**  
The General Conditions and General Requirements, the latest edition and supplements of the Standard Specifications for Public Works Construction, hereinafter referred to as "SPPWC", adopted by the Board of Public Works and the City of Los Angeles including the City of Los Angeles Department of Public Works SPPWC addenda and amendments (shown below) shall be made a part of these plans.

Website: <http://www.sppwc.org/html/contractors/2009/05/05/05050208.pdf>

Where conflicts occur between the General Conditions and General Requirements and the Standard Specifications for Public Works Construction, the General Conditions and General Requirements shall take precedence. Where conflicts occur between these Landscape Construction Notes and the SPPWC, these LANDSCAPE CONSTRUCTION NOTES shall take precedence.

Precedence of Contract Documents shall be in accordance with Article 7 of the General Conditions.

Submittals indicated within these LANDSCAPE CONSTRUCTION NOTES, modify or add to the corresponding submittal (by number) of the SPPWC, shall apply with current project specifications and shall be prepared and submitted in accordance with the SPPWC, the option listed herein shall be used.

This requirement consists only of tree preservation.

**PLANS AND SPECIFICATIONS**  
The General Contractor shall be responsible for seeking a complete set of plans and specifications to all GC/Contractors.

Indicate approvals or submittals, including items to be turned over at the pre-trial. All approvals and submittals shall be submitted to the Project Manager.

Indicate required field inspections with the Bureau of Contract Administration (BCA) Inspector and the Project Manager. Notify all parties three (3) days prior to the required inspection.

**SCHEDULE OF WORK**  
The Contractor shall submit a Schedule of Work for approval to the Project Manager prior to the commencement of work. The Project Manager, Contractor and Department of Recreation & Parks (DRP) Maintenance Personnel shall coordinate the Contractor's schedule of work with ongoing DRP maintenance of the facility within the work area and the Contractor's implementation of the area within the work area, as indicated in the maintenance portion of the Landscape Planting Schedule. The Contractor shall schedule all work in accordance with the General Requirements Article 18. The work area shall be as defined on the Site Plan, or as indicated on the Plans by means of a contract field note.

**MEETINGS**  
The Contractor shall schedule a Job Start Meeting with the Project Manager after receipt of the Notice to Proceed. This meeting shall include the following participants: the Project Manager, Contractor Manager, Bureau of Contract Administration (BCA) Inspector, Landscape Architect, and Regional Maintenance Personnel, prior to the commencement of work to review the contents of the plans and discuss the coordination of the project with the Department's operations at the project site. This preconstruction meeting can be held at the same time as the Job Start Meeting at the Contractor's discretion.

**INSPECTIONS**  
All work and materials are subject to inspection and approval by the Project Manager. Any work done without proper inspection will be rejected per Section 2-11 of the Standard Specifications for Public Works Construction.

The Contractor shall notify the Bureau of Contract Administration (BCA) Inspector, Construction Manager and Project Manager three (3) days prior to inspection of the following for approval:

1. **ROUGH GRADING:** When forms have been set, all approved alignment, offsets or vertical controls shall be verified in the field, or as provided in plans, and submitted to the Project Manager for approval prior to the excavation.

2. **TREE TAGGING:** Tagging of 24" or larger trees at the grower with Registration and Parks tags. This inspection will be for compliance with the color, height and normal requirements if given on the plan tagged and general health, structure and appearance of plants. See Planting section of Landscape Construction Notes.

3. **ON-SITE PLANT MATERIAL INSPECTION:** Inspection of all plant materials under 24" long and over 24" in diameter to the job site. This inspection will be for compliance with the color, height and normal requirements if given on the plan tagged and general health, structure and appearance of plants. The Contractor shall also state all tree planting locations at the time for review and approval for the Project Manager, see Planting section of Landscape Construction Notes.

4. **IRRIGATION BURNING PRESSURE TEST:** The pressure test shall take place under the direction of the BCA Inspector, per the irrigation section in the Landscape Construction Notes.

5. **IRRIGATION COVERAGE TEST:** After installation of heads and lateral lines etc., verify irrigation system shall be tested for coverage per the irrigation section of the Landscape Construction Notes. The BCA Inspector, Project Manager, Contractor and Maintenance staff shall observe and approve for the Project Manager (30 days before the scheduled test).

6. **FINISH GRADE REVIEW:** For all finish grades in planting areas following staking in last week and prior to landscape construction planting.

7. **FINAL INSPECTION**  
Pre-final inspection shall be in accordance with Article 49 of the General Conditions.

8. **CONTRACT FINAL INSPECTION**  
Contract final inspection shall be in accordance with Article 49 of the General Conditions.

9. **FINAL INSPECTION:** Contractor shall be responsible for scheduling all final inspections with the Bureau of Contract Administration (BCA) Inspector. In-plant inspection shall be required, but not limited to the following items:  
A. Distribution of "flow" gates  
B. Check for leaks  
C. Ported control assembly and flow  
D. Distribution of "flow" gates  
E. Flushing of "flow" gates

10. **MATERIALS SUBMITTAL**  
The Contractor shall make required submittals in accordance with Article 12 of the General Conditions.

11. **SUBSTITUTIONS AND "OR EQUAL" SUBSTITUTAL**  
The Contractor shall make submittals in accordance with Article 11 of the General Conditions.

12. **RECORD DRAWINGS (AS-BUILT) SUBMITTALS**  
Record drawings shall be in accordance with the Standard Specifications for Public Works Construction.

13. **IRRIIGATION RECORD DRAWINGS**  
Irrigation record drawings shall include the following:  
a. Operation of the following controls from the following points of reference (including

1. **INDICATIONS** the following accessories from two permanent points of reference (existing or new):  
a. Access to existing lines  
b. Connection to existing lines  
c. Connection to existing power lines  
d. Gate valves  
e. Manhole routing notes (directional terms (distances measured 100 feet along routing))  
f. Air and pressure relief valves  
g. Manhole inlet/outlet services  
h. Control valve routing  
i. Check/relief valves  
j. Lighting protection (rod, pole, etc.)  
k. Inlet/outlet connections  
l. Inlet/outlet connections  
m. Backflow prevention valve

**DEPARTMENT OF PUBLIC WORKS STANDARD PLANS**  
The following Department of Public Works Standard Plans are to be included as a part of these plans:  
PLAN NO. TITLE

**SPPWC**  
2009 Edition of the Addenda and Amendments to the SPPWC  
Website: <http://www.sppwc.org/html/contractors/2009/05/05/05050208.pdf>

**LAYOUT OF WORK, GRASS SHEET APPROVAL**  
All seed operations, grading, covering, soil, and grass cover on the plan for grading, pavement and drainage improvements shall be installed by a California Licensed Land Surveyor provided by the Contractor at no additional cost to the City. Grass sheets shall be a minimum size of 12' x 24' and shall be drawn a minimum of 1/2" in graphic, each grass sheet shall be protected by a flagged link projecting 24" above ground; grass sheets defined by on-site activities shall be made by the Surveyor. If specified on the plan the Contractor shall have the surveyor provide grass sheets. The grass sheets shall be approved by the Project Manager for approval as to the installation of any grading operation.

**UNDERGROUND UTILITIES**  
The Contractor shall provide to the Contractor all existing records and underground utilities to the extent of the construction area, including utility records, from the Department of Water and Power shall be located by notifying UNDERGROUND SERVICE ALERT at 1-800-433-4343 prior to commencing any excavation.

**TREE PROTECTION - EXISTING TREES**  
All trees to remain in place shall be protected using the following guidelines:

**TREE PROTECTION SPECIFICATIONS**  
These tree protection specifications shall be followed in project of trees whose density is excavated upon other directly or indirectly by construction within City parks.

**ANY FAILURE BY THE CONTRACTOR TO ADHERE TO THE REQUIREMENTS SPECIFIED BELOW WILL RESULT IN THE SUSPENSION OF ALL CONSTRUCTION ACTIVITIES TO BE DONE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF OR PAYMENT FOR ANY TREES DAMAGED THROUGH NON-COMPLIANCE WITH THESE SPECIFICATIONS. THE MONETARY OR REPLACEMENT VALUE OF DAMAGED TREES SHALL BE DETERMINED BY A REGISTERED AND PAID (R&P) ARBORIST OR BY A R&P APPROVED ISA CERTIFIED ARBORIST.**

A. Excavation and Pits: A minimum shall be notified to the Job Start Meeting and also notified 48-hours prior to construction. Contact Loretta Boushfield (313) 455-3474 or Steve Durkin (313) 455-4528

A. **TREE PROTECTION:** All trees that occur within the work area, as shown on the plan, and NOT specifically indicated for removal, shall be protected by the following means:  
(1) Establishing the Tree Protection Zone (TPZ). The TPZ shall be the diameter of the TPZ, measured from the outside of the tree trunk, plus the calculated clearance as follows:  
(a) Single trunk trees - multiply the trunk diameter or normal, measured 4.5 above ground, by 1.5 feet.  
(b) Multi-trunk trees - multiply the sum of the diameters of all trunks in inches, measured 4.5 above ground, by 1.5 feet.  
(c) Palm trees - if not the base of the trunk.

(2) Signage: The TPZ, the contractor shall be responsible for erecting all trees within the boundaries of the construction area, including individual access areas, from down areas, and any other areas required by construction activities. Any damage to trees in these areas shall also be subject to the same monetary or replacement requirements specified in all above. Any necessary road cutting in this area must be continued with either the R&P or other approved arborist. See also the General Conditions for any damage done by the contractor to landscaping or other park amenities that fall outside the boundaries of the construction area.

(3) Signage: The contractor shall be responsible for erecting all trees within the boundaries of the construction area, including individual access areas, from down areas, and any other areas required by construction activities. Any damage to trees in these areas shall also be subject to the same monetary or replacement requirements specified in all above. Any necessary road cutting in this area must be continued with either the R&P or other approved arborist. See also the General Conditions for any damage done by the contractor to landscaping or other park amenities that fall outside the boundaries of the construction area.

(4) Signage: The contractor shall be responsible for erecting all trees within the boundaries of the construction area, including individual access areas, from down areas, and any other areas required by construction activities. Any damage to trees in these areas shall also be subject to the same monetary or replacement requirements specified in all above. Any necessary road cutting in this area must be continued with either the R&P or other approved arborist. See also the General Conditions for any damage done by the contractor to landscaping or other park amenities that fall outside the boundaries of the construction area.

(5) Signage: The contractor shall be responsible for erecting all trees within the boundaries of the construction area, including individual access areas, from down areas, and any other areas required by construction activities. Any damage to trees in these areas shall also be subject to the same monetary or replacement requirements specified in all above. Any necessary road cutting in this area must be continued with either the R&P or other approved arborist. See also the General Conditions for any damage done by the contractor to landscaping or other park amenities that fall outside the boundaries of the construction area.

(6) Signage: The contractor shall be responsible for erecting all trees within the boundaries of the construction area, including individual access areas, from down areas, and any other areas required by construction activities. Any damage to trees in these areas shall also be subject to the same monetary or replacement requirements specified in all above. Any necessary road cutting in this area must be continued with either the R&P or other approved arborist. See also the General Conditions for any damage done by the contractor to landscaping or other park amenities that fall outside the boundaries of the construction area.

(7) Signage: The contractor shall be responsible for erecting all trees within the boundaries of the construction area, including individual access areas, from down areas, and any other areas required by construction activities. Any damage to trees in these areas shall also be subject to the same monetary or replacement requirements specified in all above. Any necessary road cutting in this area must be continued with either the R&P or other approved arborist. See also the General Conditions for any damage done by the contractor to landscaping or other park amenities that fall outside the boundaries of the construction area.

(8) Signage: The contractor shall be responsible for erecting all trees within the boundaries of the construction area, including individual access areas, from down areas, and any other areas required by construction activities. Any damage to trees in these areas shall also be subject to the same monetary or replacement requirements specified in all above. Any necessary road cutting in this area must be continued with either the R&P or other approved arborist. See also the General Conditions for any damage done by the contractor to landscaping or other park amenities that fall outside the boundaries of the construction area.

(9) Signage: The contractor shall be responsible for erecting all trees within the boundaries of the construction area, including individual access areas, from down areas, and any other areas required by construction activities. Any damage to trees in these areas shall also be subject to the same monetary or replacement requirements specified in all above. Any necessary road cutting in this area must be continued with either the R&P or other approved arborist. See also the General Conditions for any damage done by the contractor to landscaping or other park amenities that fall outside the boundaries of the construction area.

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1. GENERAL EXISTING

**METHOD**  
The existing trees shall be removed by the Contractor as shown on the plan and as directed by the Engineer.

All grades between corners or other elevations shall be assumed to be straight grades. There shall be no curbing, gutters or slopes, (S&S-1).

The area to be filled shall be cleared of all vegetation, including the existing trees to remain. Pruning removing tree limbs of construction.

All fill soil shall be compacted to 95% relative compaction and the Contractor shall obtain and pay for all soil compaction tests. Locations where compaction testing is required are shown on the plans with the symbol (C). The SCA Inspector may modify the exact location in the field, depending on field conditions. If a minimum is given from the Project Manager, the total number of compaction test shall be no less than the number shown by the symbol. Minimum compaction of maximum shall be with minimum compaction unless otherwise specified.

For a number of fill existing at a depth of 6 inches, minimum but not less than 10 percent with depth increase to minimum 10 percent. This material shall be 10 percent.

The source of import soil shall be approved by the Project Manager prior to any grading operations. The Contractor shall be required to provide an Agricultural Quality soil test to establish the suitability of imported soil and that all submittals of forms and testing are within approved limits. The Contractor shall, at his own expense, amend the soil according to the recommendations of the soil report.

For material 24 inches, or more, below the finish grade may consist up to 20 percent broken concrete or aluminum piping with maximum dimension of 3 inches of any piece. The top 34 inches of fill shall be Class "H" (S&S-1.1.2).

The contractor shall be responsible for removal and disposal of all excess soil and debris from the work area. (S&S-1.1.1.2)

Ground water conditions encountered during the course of the work shall be brought to the attention of the District Engineer. Geological reports shall be provided after the field, depending on field conditions. If a minimum is given from the Project Manager, the total number of compaction test shall be no less than the number shown by the symbol. Minimum compaction of maximum shall be with minimum compaction unless otherwise specified.

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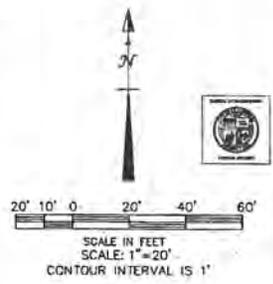
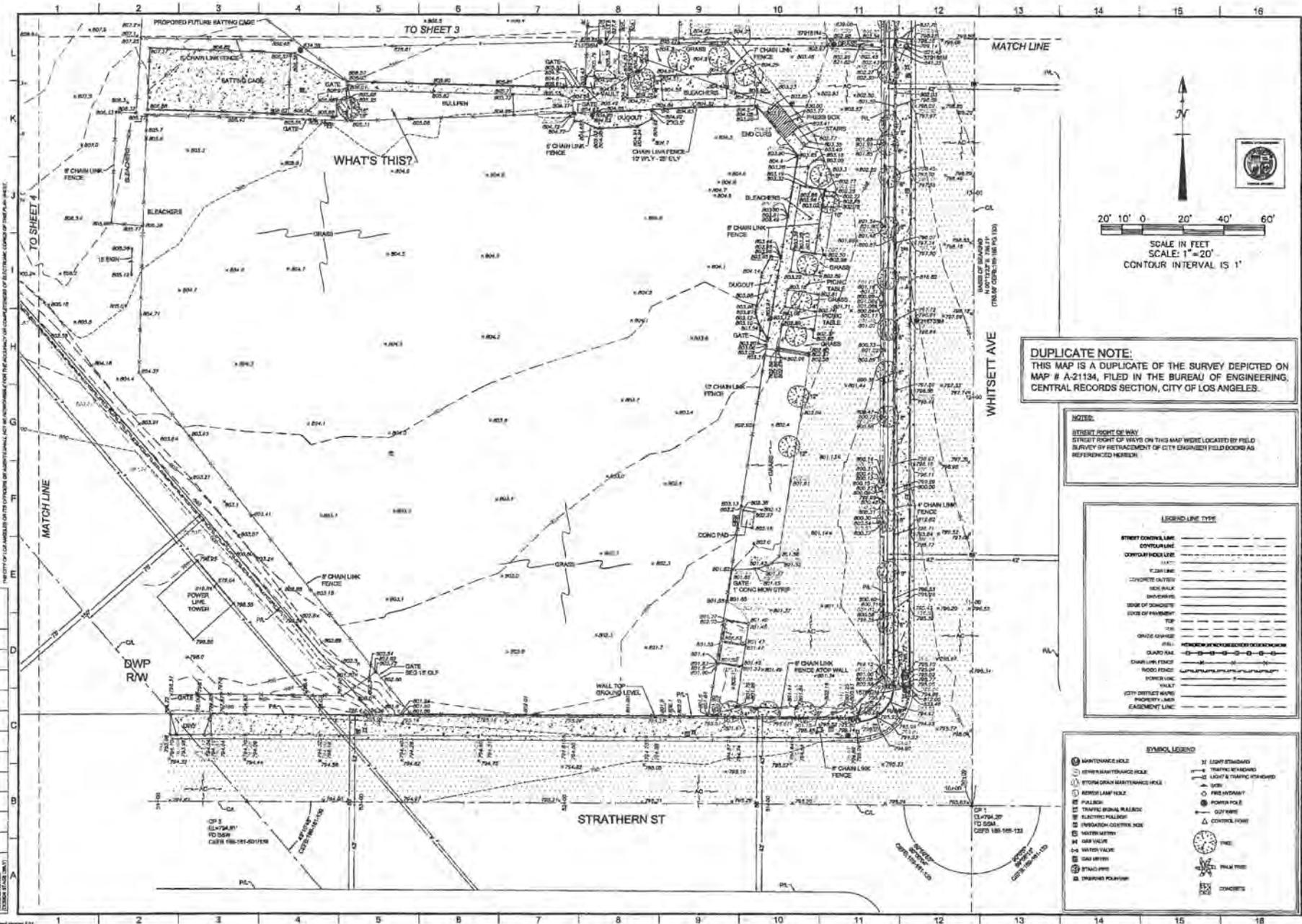
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**DUPLICATE NOTE:**  
 THIS MAP IS A DUPLICATE OF THE SURVEY DEPICTED ON MAP # A-21134, FILED IN THE BUREAU OF ENGINEERING, CENTRAL RECORDS SECTION, CITY OF LOS ANGELES.

**NOTES:**  
 STREET RIGHT OF WAY  
 STREET RIGHT OF WAY ON THIS MAP WERE LOCATED BY FIELD SURVEY BY RETRACEMENT OF CITY ENGINEER FIELD BOOKS AS REFERENCED HEREIN.

**LEGEND LINE TYPE**

|                     |     |
|---------------------|-----|
| STREET CONVALE LINE | --- |
| CONTOUR LINE        | --- |
| PROPERTY LINE       | --- |
| 1/2" LINE           | --- |
| CONCRETE CURB       | --- |
| SIDE WALK           | --- |
| BIKEWAY             | --- |
| EDGE OF CONCRETE    | --- |
| EDGE OF PAVEMENT    | --- |
| TOP                 | --- |
| GRADE SPW/ICE       | --- |
| RAIL                | --- |
| GUARD RAIL          | --- |
| CHAIN LINK FENCE    | --- |
| WOOD FENCE          | --- |
| WOODEN LINE         | --- |
| WALK                | --- |
| CITY DISTRICT BOUND | --- |
| PROPERTY LINE       | --- |
| EASEMENT LINE       | --- |

**SYMBOL LEGEND**

|                                 |                             |
|---------------------------------|-----------------------------|
| ① MAINTENANCE FIELD             | ⑩ LIGHT STANCHION           |
| ② STORM DRAIN/STANCHION POLE    | ⑪ TRAFFIC SIGNAGE           |
| ③ STORM DRAIN MAINTENANCE HOLES | ⑫ LIGHT & TRAFFIC STANCHION |
| ④ BENCH MARK FIELD              | ⑬ SIGN                      |
| ⑤ PULLBOX                       | ⑭ FIRE HYDRANT              |
| ⑥ TRAFFIC SIGNAL BLANK          | ⑮ POWER POLE                |
| ⑦ ELECTRIC PULLBOX              | ⑯ CUTWIRE                   |
| ⑧ IRRIGATION CONTROL BOX        | ⑰ CONTROL POINT             |
| ⑨ WATER METER                   | ⑱ FUEL                      |
| ⑩ SIGN MOUNT                    | ⑲ FIRM TREE                 |
| ⑪ WATER VALVE                   | ⑳ CONCRETE                  |
| ⑫ GAS METER                     |                             |
| ⑬ STANCHION                     |                             |
| ⑭ DRINKING FOUNTAIN             |                             |

**CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS**

**BUREAU OF ENGINEERING**

**GARY LEE MOORE, P.E.** CITY ENGINEER

**DATE:** \_\_\_\_\_ **PROJECT:** STRATHERN PARK NORTH BASEBALL FIELD LIGHTING

**SCALE:** \_\_\_\_\_ **PROJECT NO.:** E170414B

**APPROVED BY:** \_\_\_\_\_ **PROJECT NO.:** RP 300093

**DATE:** \_\_\_\_\_ **PROJECT NO.:** 32062

**PROJECT NO.:** E170414B

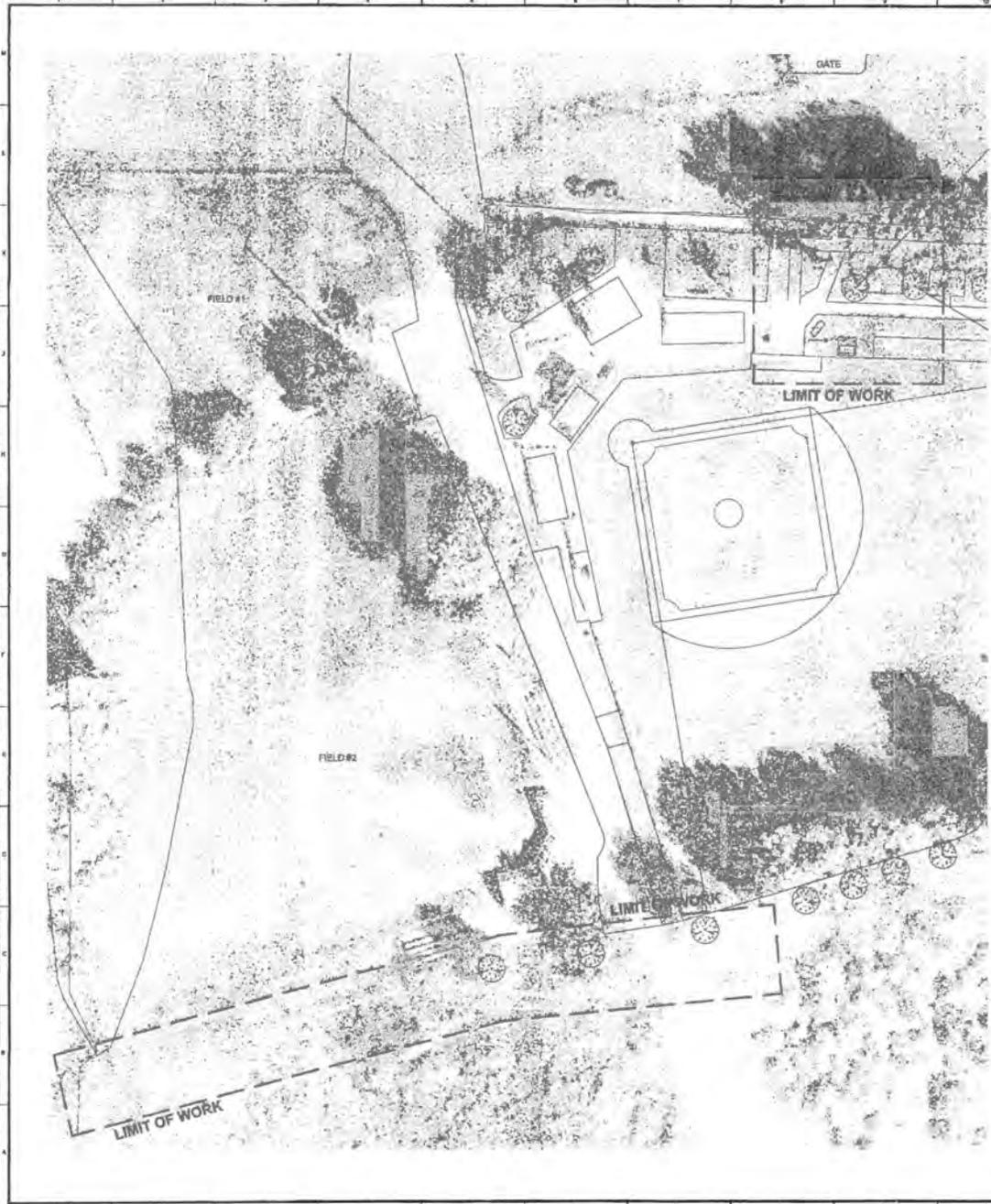
**PROJECT NO.:** L102

**PROJECT NO.:** SHEET 5 OF 28 SHEETS





THE CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS, DIVISION OF CONSTRUCTION DOCUMENTS, IS PROVIDING THIS DOCUMENT TO YOU FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT BEING PROVIDED TO YOU FOR THE PURPOSE OF CONSTRUCTION. YOU SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION CONTAINED HEREIN.



EXISTING TREE TO BE REMOVED.

EXISTING TREE TO REMAIN, PROTECT IN PLACE.

LIMIT OF WORK

LIMIT OF WORK

LIMIT OF WORK

**NOTES:**

1. ALL EXISTING RIGHT OF WAY PAVING, UTILITY BOXES, LIGHT FIXTURES/WIRING AND DRAINAGE FIXTURES ETC. ARE TO BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED.
2. ALL MATERIAL TO BE REMOVED DURING DEMOLITION SHALL BE DISPOSED OFF-SITE OF PROPERLY BY THE CONTRACTOR.
3. THE CONTRACTOR SHALL PROVIDE THE PROJECT MANAGER A MINIMUM OF 14 DAYS ADVANCE NOTICE OF PRIOR DEMOLITION. THE CONTRACTOR SHALL NOT COMMENCE WITH TREE DEMOLITION UNTIL GIVEN WRITTEN APPROVAL BY THE PROJECT MANAGER.
4. THE CONTRACTORS SHALL PROVIDE A SECURE TEMPORARY ENCLOSURE OF THE AREA SURROUNDING THE TREE TO BE REMOVED UNTIL JOB HAS BEEN COMPLETED AND AREA IS CONSIDERED SAFE FOR PEDESTRIANS.
5. TREE REMOVAL SHALL BE PERFORMED PER RECREATION AND PARKS (RAP) GUIDELINES.
6. ALL IRRIGATION EQUIPMENT SHALL BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED. ANY IRRIGATION VALVES OR HEADS/BODIES AND VALVES TO BE REMOVED SHALL BE SALVAGED AND TURNED OVER TO RAP IRRIGATION, 310-840-2106. HEADS AND VALVES TO REMAIN SHALL BE TESTED FOR FUNCTIONALITY AND COVERAGE AND BE RE-TESTED TO FINISH GRADE.

**DIGALERT**

Call Toll Free  
 1-800-327-2606  
 7200  
 WORKING DAYS  
 8:00 AM - 5:00 PM

Underground Service Alert  
 of Southern California

NOTE  
 PRIOR TO START OF CONSTRUCTION THE CONTRACTOR SHALL COORDINATE WITH RECREATION AND PARKS STAFF TO LOCATE AND DELINEATE THE CONSTRUCTION STAGING AREA AFTER COMPLETION OF WORK, THE STAGING AREA SHALL BE RESTORED, BY CONTRACTOR, TO ITS ORIGINAL CONDITION AT HIS OWN EXPENSE.



**BUREAU OF ENGINEERING**

**ENGINEERING**

**CITY OF LOS ANGELES**

|                    |                              |
|--------------------|------------------------------|
| DATE: _____        | BUILDING NO. _____           |
| PROJECT: _____     | PROJECT NO. _____            |
| DRAWN BY: _____    | PROJECT NO. <b>RP 300093</b> |
| CHECKED BY: _____  | PROJECT NO. _____            |
| APPROVED BY: _____ | PROJECT NO. _____            |

**DEPARTMENT OF PUBLIC WORKS**

**GARY LEE MOORE, P.E. EMV SP**

CITY ENGINEER

LANDSCAPE ARCHITECT - JIM ADAM

DESIGNED BY: LORNA MATO, AIA 12546 SP

DRAWN BY: LORNA MATO, AIA 12546 SP

CHECKED BY: JIM ADAM

APPROVED BY: MANOOS JAIN, AIA 12546 SP

**CITY OF LOS ANGELES**

**DEMOLITION PLAN**

**PROJECT: STRATHERN PARK NORTH BASEBALL**

**ADDRESS: 1635 WAINWRIGHT AVE**

**NORTH HOLLYWOOD, CA 91605**

WORK ORDER NO. **E170414**

PROJECT NO. **L201**

SHEET **9** OF **28**





**IRRIGATION SYSTEMS**

**MATERIALS**

**SOLVENT WELDED PLASTIC PIPE**

Schedule 40 PVC plastic pipe shall be used for pipe sizes up to and including 2 1/2 inch diameter or both the discharge and supply side of control valves. Class 200 PVC plastic pipe shall be used for pipe sizes from 3 inch up to and including 6 inch diameter.

**REMOTE CONTROL VALVES**

All remote control valves shall be electrically operated with body of cast brass or bronze construction, (212-2.2.4) and detailed per details.

**CONTROL WIRE**

Connection between the automatic controller(s) and the remote control valves shall be made with direct burial 14 gage, AWG-UJF, 600 volt, copper wire. Wires shall be provided in the following colors: red, yellow, blue, green, orange, tan, purple, pink, brown, grey, and white.

**CONTROL WIRE CONNECTIONS**

Control wire connections shall be made with 344 strand of DRY or DFR Direct Burial Splice Kits, or approved equal. The splice kit shall consist of a one-piece malleable plastic both body with internal locking fingers, filled with re-entangle gel sealant and a Scotchlok Electrical Spring Connector. Malleable shall be as follows:

- Connector shall be a flame resistant PVC Insulator with a steel spring and shell within.
- Connector shall be a non-rotating system.
- Tube material shall be clear size through polypropylene.
- Gel material shall be isotropic calcium organophilic complex.

Wire sizes and number of wires shall be as shown below:

| CONNECTOR    | COLOR  | NO. AND SIZE OF WIRE   |
|--------------|--------|------------------------|
| 3M Model DRY | Yellow | Max. 4-12 gage UF wire |
| 3M Model DFR | Rod    | Max. 3-14 gage UF wire |

**QUICK COUPLING VALVES AND ASSEMBLIES**

Quick couplers shall be 1 inch I.P.S., lap piece, brass or bronze construction equipped with a cover, unless otherwise specified on plans. The Contractor shall provide one quick coupler key with hose swivel for each five quick couplers installed. Contractor shall supply a minimum of one quick coupler key with hose swivel, (212-2.2.6) and shall be installed per details.

**VALVE BOXES**

Valve boxes shall be plastic with locking cover.

**For Remote Control Valves**

The dimensions of the box shall be 21.8 inches by 18.8 inches, Model VB-STD-N by Rainbird, or approved equal. The lid shall be permanently embossed "RCV". Paint is not acceptable. "Brent" lids with controller station number.

**For Quick Couplers and Gate Valves**

The dimensions of the box shall be 13.75 inches bottom diameter and 10" top diameter. Model VB-10RND-H, by Rainbird, or approved equal. The lid shall be permanently embossed "GV" for gate valves and "QC" for quick coupler valves. Paint is not acceptable.

Boxes are to be installed per the applicable details.

**METHODS**

Maintain 12 inches of cover over all lateral lines and 24 inches of cover over mainlines 3" and smaller in diameter. Mainlines 4" and larger in diameter shall have 30" of cover over the top of the pipe. Recommended existing remote control valves with approved waterproof connectors, (309-5).

**NEW PIPELINE INSTALLATION - GENERAL**

When pipelines run parallel they shall be separated horizontally by a minimum distance of 12". When pipelines cross each other they shall be separated vertically by a minimum distance of 3".

No irrigation branching shall pass closer than eight feet of the base of any tree. No tree root larger than 2" diameter shall be cut without approval of the Project Manager.

**COVER OVER MAINLINES:**

Maintain 24 inches of cover over mainlines 2" and smaller in diameter. Mainlines 3" and larger in diameter shall have 30" of cover over the top of the pipe, (309-5.2). All branching shall be per details.

**COVER OVER LATERAL LINES:**

Maintain 12 inches of cover over all lateral lines.

Pipe bedding and backfill: bedding shall surround the pipe to one foot above the top of the pipe. Bedding shall be placed in 6 inch lifts. All bedding shall be dewatered by water jetting. Water jetting shall be sufficient to thoroughly wet bedding material around the pipe. (309-1.2.1). There shall be no rocks over 1/2" in greatest dimension and no organic matter placed in the bedding material. Backfill shall be the material placed above the bedding. Backfill shall be placed in one-foot lifts and dewatered by water jetting. Jetting shall be continued until backfill collapses and water is forced to the surface. (309-1.3.1). Pipe trenches thoroughly dewatered by water jetting shall have a minimum relative compaction of 95%. There shall be no rocks over 2" in greatest dimension or organic matter in the backfill. Trench areas which exhibit insufficient densification shall be subject to compaction tests as requested by the BCA Inspector or the Project Manager. All such compaction tests shall be at the expense of the Contractor. Additional tests may be required until the 90% minimum compaction is achieved. Finished trenches shall match finish grades flush with adjacent finish grades. The Contractor shall be responsible for maintaining the trenches flush and smooth until final acceptance of the project. Trenches in existing lawn shall be repaired per method A lawn repair of the Landscape Planning Section of the Landscape Construction Notes.

The maximum trench width shall be two and a half times the diameter of the pipe.

**PIPES AND REMOTE CONTROL WIRING CROSSING UNDER PAVING:**

Where irrigation piping crosses a vehicular roadway or other paving having a width of less than 25 feet, a Schedule 40 PVC sleeve which is a minimum of two pipe sizes larger than the piping to pass through, shall be jacked under the paving at a depth of 36 inches minimum. Where remote control wiring crosses under paving having a width of less than 25 feet, a 3 inch Schedule 40 PVC sleeve shall be jacked under the paving at a depth of 30 inches minimum. All sleeves shall extend 3 feet minimum beyond the edge of paving.

Where irrigation piping crosses a vehicular roadway or other paving having a width greater than 25 feet, a trench shall be excavated across the roadway or paving to accommodate a Schedule 40 PVC sleeve a minimum of two pipe sizes larger than the piping to pass through it, at a depth of 30 inches below the surface of the paving, as measured from the top of the sleeve. Where remote control

below the bottom of the paving, as measured from the top of the sleeve. Where remote control wiring crosses under paving having a width greater than 25 feet, a 3 inch Schedule 40 PVC sleeve shall be installed at a depth of 30 inches below the bottom of the paving, as measured from the top of the sleeve. The backfill of the trench shall be a 2 inch compacted sand. The slurry shall extend from the bottom of the trench to within one foot of the bottom of the existing paving. The trench in the existing paving shall be repaired with a fine paving material and join the existing paving both horizontally and vertically.

**FITTINGS ON MAINLINE:**

All outlets from a mainline shall be accomplished with live steel sized with an outlet of the specified size. No saddle tees shall be permitted.

**INSTALLATION OF VALVE BOXES**

Boxes shall be set flush with existing grade, including sloped areas, and all soil within 12 inches of the perimeter of the box shall be compacted by water settlement as indicated in the trench repair section of this specification. Boxes are to be positioned per details.

**LAYOUT OF PIPING**

Pipe layout as shown on irrigation plan is schematic. Contractor may route piping in the most expedient manner consistent with the requirements set forth herein, including avoidance of tree roots. Contractor shall adhere to As-Built requirements as shown below.

**PLACEMENT OF IRRIGATION HEADS:**

Note: Irrigation plans are designed, as a minimum standard, for head-to-head coverage. Head locations shall be scaled from center of head symbol directly from the irrigation plan. Accuracy of placement shall be within plus or minus two feet for all rotary heads having a throw of 25 feet or greater, within plus or minus 12 inches for all head types with a throw of under 25 feet. Where heads are located adjacent to paving, the heads shall be placed within three inches of such paving.

**INSTALLATION OF IRRIGATION HEADS**

Sprinkler heads in lawn areas shall be set flush with finish grade at initial installation and protected during construction. All soil 12 inches from the perimeter of the head shall be compacted by water jetting as indicated in this specification, or set in sand as shown on details.

**SPRINKLER HEAD RISER**

All plastic riser heads shall be installed on spring joint assemblies as shown on details.

**AUTOMATIC CONTROL SYSTEM INSTALLATION**

The location of the automatic controller shall be per details. Each remote control valve shall have a separate 24 volt control wire from the automatic irrigation controller.

**LOW VOLTAGE WIRE CONNECTIONS**

Connectors shall be DRY or DFR as manufactured by 3M Corp. Control wires shall be stripped of 1/2 inch insulation, inserted into the electrical spring connector, and the connector twisted in a clockwise direction until the wires are tight. Insert the completed wires into the gel-filled tube, and check visually to confirm that the wire nut has been pushed past the fingers and is seated in the bottom of the tube. Position wires in wire channels and close insulator cover.

**CONTROL WIRE**

Connection between the automatic controller(s) and the remote control valves shall be made with direct burial 14 gage, AWG-UJF, 600 volt, copper wire. Wires shall be color coded as follows:

| IRRIIGATION LINE COLOR | CONTROL WIRE STATION | IRRIIGATION LINE EXTENSION | CONTROL WIRE STATION | CONTROL WIRE EXTENSION |
|------------------------|----------------------|----------------------------|----------------------|------------------------|
| RED                    | 1                    | 11                         | 21                   | 31                     |
| YELLOW                 | 2                    | 12                         | 22                   | 32                     |
| BLUE                   | 3                    | 13                         | 23                   | 33                     |
| GREEN                  | 4                    | 14                         | 24                   | 34                     |
| ORANGE                 | 5                    | 15                         | 25                   | 35                     |
| TAN                    | 6                    | 16                         | 26                   | 36                     |
| PINK                   | 7                    | 17                         | 27                   | 37                     |
| GRAY                   | 8                    | 18                         | 28                   | 38                     |
| BROWN                  | 9                    | 19                         | 29                   | 39                     |
| BLACK                  | 10                   | 20                         | 30                   | 40                     |

| CONTROLLER TAPES | WIRE COLOR |
|------------------|------------|
| A                | RED        |
| B                | YELLOW     |
| C                | BLUE       |
| D                | GREEN      |
| E                | WHITE      |
| F                | BLACK      |

**INSTALLATION OF IRRIGATION CONTROL WIRING**

Wire bundles shall be taped at 5' o.c. Lay bundles in this mainline trench. Do not tape bundles to the mainline piping.

The Contractor shall run two extra back control wires from the automatic controller to the farthest valve on the system, or to the farthest valve at each end of the controller area, if the farthest area extends in two directions from the controller.

Each controller shall have a separate 14 gage, AWG-UJF, 600 volt, WHITE common wire for each 10 consecutive stations on each irrigation controller.

- Common 1, stations 1-10
- Common 2, stations 11-20
- Common 3, stations 21-30
- Common 4, stations 31-40

Each exterior controller enclosure shall have a ground rod installed if detailed on controller installation detail.

Wire shall not be taped to mainline (309-5.5). If control wires run in same trench as lateral lines, or are cast bedded, wire depth shall be maintained at 24". For installation, see details.

**IRRIGATION SYSTEM FLUSHING AND TESTING**

The irrigation system shall be flushed in the presence of the BCA Inspector. Flushing shall start with the valve closest to the point of connection and proceed with each consecutive valve toward the valve furthest from the point of connection. Each lateral system shall have each riser capped during the flushing commencing with the riser closest to the valve and proceeding to the furthest riser. After the entire irrigation system has been flushed the system shall be pressure tested in accordance with section 309-5.8 of the GSPWC.

The irrigation system mainlines shall be pressure tested following the flushing of the complete system. The mainlines shall be tested for 24 hours at 125 p.s.i. with all control valves in closed and closed. During the test, the Contractor shall provide pressure gauges downstream from the backflow device and upstream from the lateral/traverse control valve in the system. All pressure testing of the irrigation system is acceptable if approved by the Project Manager. Placement, quantity and color coding of controller wires shall be verified before mainline trenches are bedded.

**RECORD DRAWINGS (AS-BUILTS) AND CONTROLLER CHARTS**

As-built plans shall be maintained throughout the construction period and turned over to the Project Manager at the Operational Final Inspection, in accordance with Article 8 of the General Requirements.

The Contractor shall provide two copies of a controller chart showing the irrigation system installed. The chart shall be done on a half size photographic reproduction of the irrigation plan and shall reflect the as-built data. Each station shall be shown in a different color and control wire locations shall be indicated. The complete plan shall be laminated on each side with a 20 mil acrylic plastic sheet. A 3/4" brass grommet shall be placed in each top corner. The Contractor shall obtain approval of the controller chart from the Project Manager, before proceeding with the plastic lamination.

**WARRANTY FOR IRRIGATION SYSTEM WORK**

The entire exterior irrigation system shall be warranted to be free from defects in materials and workmanship, and installed in accordance with these Landscape Construction Notes and the GSPWC. The Contractor shall be required to repair or replace any defects in material or workmanship which may develop within one (1) calendar year from the date of acceptance, ordinary wear and tear and unusual abuse or neglect excepted. Further, the Contractor shall be required to make any necessary repairs within 24 hours of notification at no cost to the Department, if the Contractor or its agent fail to make such repairs within the stipulated time, the Department shall make such repairs or have repairs made by a third party and bill the Contractor for all expenses that accrue from making such repairs.

**GUARANTEE AGAINST SETTLEMENT**

If, within one (1) calendar year from the date of acceptance, settlement occurs along mainlines, lateral lines, or valve boxes, or other irrigation related apparatuses, and adjustments in pipes, valves and sprinkler heads are required to bring the system, soil, or paving to the level of the permanent grades, the Contractor shall make all adjustments without additional cost to the Department, including complete restoration of any planting, paving, or other improvements damaged as a result of settlement.

**PLASTIC PIPELINE-SOLVENT WELDED OR THREADED ENDS**

Prior to the application of the P.V.C. solvent cement, presens all surfaces to be solvent welded with methylmethacrylate primer tinted purple. Teflon tape shall be used on all plastic male pipe threads, (309-5.3).

THE CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS, DIVISION OF LANDSCAPE CONSTRUCTION, HAS REVIEWED AND APPROVED THE TECHNICAL CONTENT OF THESE PLANS. THE CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS, DIVISION OF LANDSCAPE CONSTRUCTION, HAS REVIEWED AND APPROVED THE TECHNICAL CONTENT OF THESE PLANS.



CITY OF LOS ANGELES  
 DEPARTMENT OF PUBLIC WORKS  
 DIVISION OF LANDSCAPE CONSTRUCTION

**ENGINEERING**  
CITY OF LOS ANGELES

BUREAU OF ENGINEERING  
 DIVISION OF  
 ENGINEERING  
 1200 N. GARDEN STREET  
 LOS ANGELES, CALIF. 90012

GARY LEE MOORE, P.E. ENV. 3P  
 ARCHITECTURAL DIVISION  
 1200 N. GARDEN STREET  
 LOS ANGELES, CALIF. 90012

PROJECT: IRRIGATION NOTES  
 FIELD LIGHTING  
 8403 WHITSETT AVE  
 NORTH HOLLYWOOD, CA 91305

APPROVED BY: JAMES S. BROWN  
 SUPERVISOR OF LANDSCAPE CONSTRUCTION

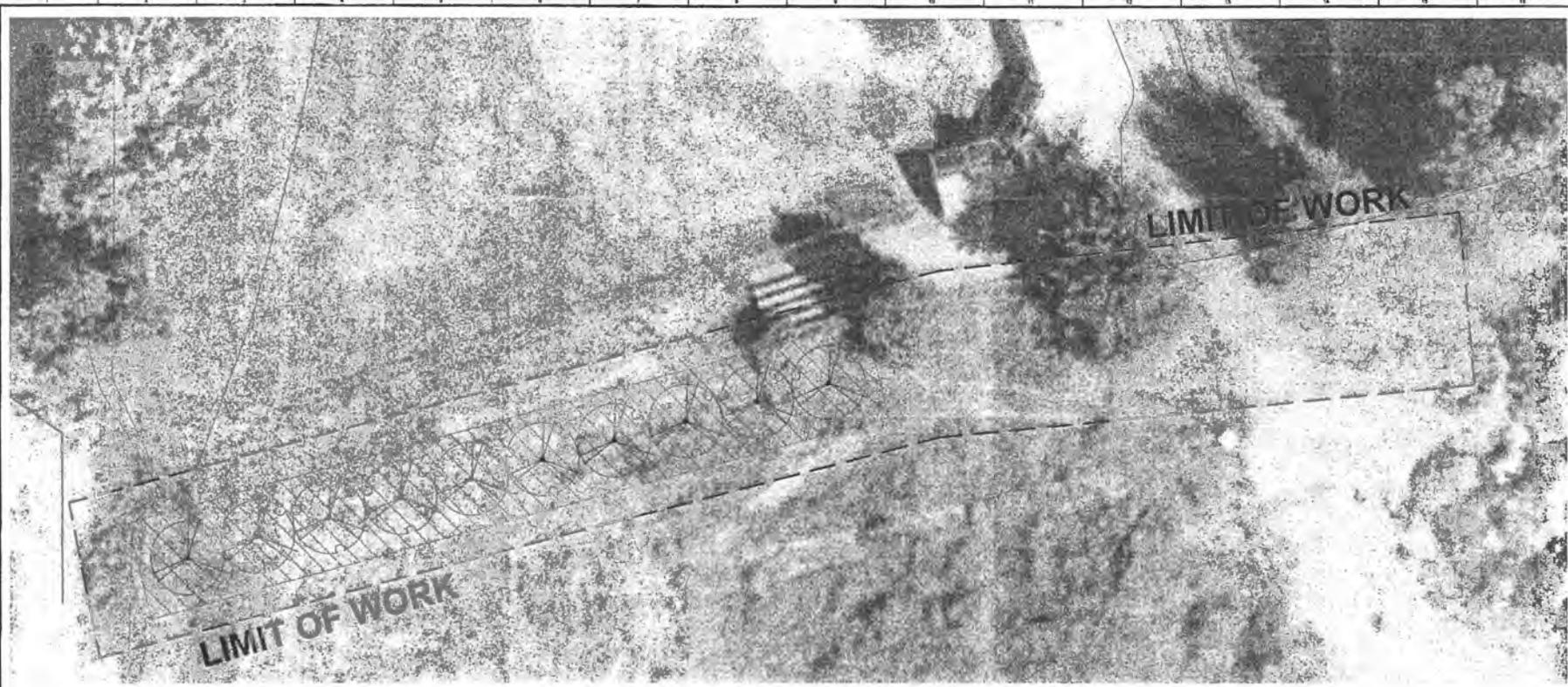
WORK ORDER NO:  
 E1770414

**L603**

DATE: 12 MONTHS  
 SHEETS: 26

APPROVED BY: JAMES S. BROWN  
 SUPERVISOR OF LANDSCAPE CONSTRUCTION

THE CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS CONSTRUCTION DOCUMENTS - COMMERCIAL - PLANNING ENVIRONMENTAL AND PLANTING  
 PROJECT: STRATHERN PARK NORTH BASEBALL  
 ADDRESS: 6435 WHITTIEY AVE. NORTH HOLLYWOOD, CA 91605  
 SHEET: 13 OF 28



**PLANT LEGEND**

| SYM   | BOTANICAL NAME/COMMON NAME          | SIZE    | QTY THIS SHEET | TOTAL QTY | REMARKS                                    |
|---|-------------------------------------|---------|----------------|-----------|--|
|  | LOPHOSTEMON CONFERTUS/ BRISBANE BOX | 24" BOX | 10             | 10        | PLANT AND STAKE PER DETAILS A13 SHEET L702 |
|  | MULCH                               | STD.    | 3,200 SF       | 3,200 SF  | 160 LF x 20 LF                             |

- NOTE:**
1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJACENT IRRIGATION SYSTEM AND SHALL REPAIR (PER RAP GUIDELINES) AT NO COST TO THE CITY. ANY DAMAGE CAUSED TO EXISTING SITE IRRIGATION SYSTEM DUE TO INSTALLATION OF FIELD LIGHTS.
  2. RAP SHALL APPROVE FINAL LOCATION OF TREES.
  3. ALL IRRIGATION EQUIPMENT SHALL BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED. ANY IRRIGATION VALVES OR HEADS/BODIES AND VALVES TO BE REMOVED SHALL BE SALVAGED AND TURNED OVER TO RAP IRRIGATION, 310-840-2186. HEADS AND VALVES TO REMAIN SHALL BE TESTED FOR FUNCTIONALITY AND COVERAGE AND BE RE-TESTED TO FINISH GRADE.



NOTE  
 PRIOR TO START OF CONSTRUCTION THE CONTRACTOR SHALL COORDINATE WITH RECREATION AND PARKS STAFF TO LOCATE AND DELINEATE THE CONSTRUCTION STAGING AREA. AFTER COMPLETION OF WORK, THE STAGING AREA SHALL BE RESTORED, BY CONTRACTOR, TO ITS ORIGINAL CONDITION AT HIS OWN EXPENSE.



CITY OF LOS ANGELES  
 DEPARTMENT OF PUBLIC WORKS

BUREAU OF ENGINEERING  
 ENGINEERING  
 CITY OF LOS ANGELES

GARY LEE MOORE, P.E. BIV. SP  
 ARCHITECTURAL ARCHITECT

DATE: 11/14/16  
 LAYOUT: 11/14/16  
 CHECKED BY: JANE MOORE  
 APPROVED BY: WAREHOUS ARCHITECTS

CLIENT: RECREATION AND PARKS  
 OFFICIAL: WASHINGTON, MICHAEL A. 3182

PROJECT: STRATHERN PARK NORTH BASEBALL  
 ADDRESS: 6435 WHITTIEY AVE.  
 NORTH HOLLYWOOD, CA 91605

WORK ORDER NO.  
 E170414

INDEX NO.  
 RP 3000983

SHEET NO.  
 13

SHEETS  
 28

**LANDSCAPE PLANTING**

**MATERIALS**

**ORGANIC AMENDMENT**

Type 1 organic soil amendment shall be a relatively dry and fibrous free-textured organic composite that is well-composted and nitrogen stabilized, derived primarily from composted greenwaste or processed wood products, and free of foreign matter including any viable plant, tree or weed seed. 50% of material shall pass through a 1/2" screen. Safety: material shall have a maximum saturation extract conductivity of 2.50 millisiemens per centimeter.

Contractor shall submit a sample of the organic soil amendment to the Project Manager/BCA Inspector for approval prior to installation.

**GRO-POWER PLUS - GENERAL PURPOSE FERTILIZER**

Shall have a minimum analysis of 5-5-1 (N-P-K) derived from ammonium phosphate, urea, sulfate of potash, elemental sulfur and oxide of iron, manganese, and zinc, with 1.00% Axit/Naphthalene Sodium Sulfonate soil penetrant as manufactured by Gro-Power Inc., 5065 Tulehollow Avenue, Chino, CA 91710 (909) 353-3744, or an approved equal.

**TOP DRESSING MULCH**

Shall be seasoned tree chip mulch, free of foreign matter including weed and tree seeds. Mulch chip size shall be minimum one (1) inch in diameter and not more than two (2) inches in diameter. Minimum sample of mulch and advice to the Project Manager or BCA Inspector for approval prior to application.

**PLANT MATERIALS:**

**a. ALL PLANTS:** The plant names shown or listed on the Contract Drawings shall conform to the "Surrest Western Garden Book," latest edition unless otherwise specified. In all cases, botanical names take precedence over common names.

**b. QUALITY:** All plants shall have a growth habit normal to the species in accordance with U.S.A. Standards for Nursery Stocks, latest editions; shall be sound, healthy, vigorous and free from insect pests, plant disease, sun scalds, fresh bark abrasions, excessive abrasions or other objectionable displacements. Tree trunks shall have normal well-developed branch systems, and vigorous and fibrous root system, not root bound and shall be free of stakes or girdling roots.

**c. TYPE AND SIZE:** Plant materials shall be as listed on the Contract Drawings, unless otherwise instructed by the Project Manager. In case of conflict between the Plant Schedule table and total plant count of the contract documents, the Contractor shall follow the number of plants.

**d. DELIVERY OF PLANT MATERIAL:** shall begin only when it is ready for the work and after the inspectors are made and any required soil samples and tests have been reviewed by the Project Manager. All materials furnished for the work shall be not less than the reviewed sample. Upon delivery, Contractor shall tag one plant of each variety for identifying purposes.

**e. PRUNING:** Other than normal stake pruning during the growth period, no pruning shall be done prior to the inspection at the nursery.

**METHODS**

**PLANTING BACKFILL MIX - GENERAL**

75% Site Soil  
25% Compost/Planting mix blended

**TOPSOIL PREPARATION**

The soil preparation materials shall be uniformly cultivated into the soil to a depth of 6 inches minimum and thoroughly watered. (205-2.3.1).

**WEED SUPPRESSION (NON-HERBICIDE WEED REMOVAL)**

Weed suppression shall apply to all turf and planting areas. The suppression operation shall be commenced only after removal, grading, landscape construction, installation of irrigation system, soil preparation, and the grading of turf and planting areas have been completed. Contractor shall thoroughly water all turf and planting areas for a period of two weeks minimum prior to commencing removal. Contractor shall clear site of all dead vegetation and living weeds by hand or mechanical means. All removed vegetation shall be properly disposed of off site.

**PLANT MATERIAL INSPECTION**

All plant materials, including plants previously approved at the nursery, shall be inspected by the Project Manager or BCA Inspector prior to planting. The Contractor shall be responsible for the condition of all plants, planted or otherwise, until final acceptance by the City and termination of maintenance warranty. Contractor shall be obligated to honor all requirements of warranty as indicated herein. Contractor shall perform planting with materials and equipment according to procedures available to the optimum growth of the plant. Do not plant during windy conditions. Except as noted for specimen planting, do not start planting operations until the completion of weed suppression and completion and acceptance of the irrigation system.

Plant pits for all 1 gallon, 5 gallon, 15 gallon, and all boxed size trees, shall be twice the width and equal to the depth of the container rootball. Note that this requirement differs from the SSPWC (308-4.5).

**PLANT PROTECTION AND STORAGE**

Keep all plant materials delivered to the job site in a healthy condition for planting. Do not allow plants to lay out or suffer physical damage from other construction activities.

**PLANTING LAYOUT**

Plant locations indicated on the Contract Drawings are approximate. Contractor shall make a detailed layout of plants, etc. in the planting areas and obtain approval of the Project Manager or BCA Inspector prior to actual planting operations. Plants may be re-located prior to planting as directed by the Project Manager and BCA Inspector without additional compensation to the Contractor.

Locate the final row of plants in areas designated for an corner spacing at one-half the designated spacing from the edge of the area. Do not stretch the maximum specified spacing for each species shown on the plans.

**PLANTING BACKFILL MIX**

Unless specified otherwise or required by an agricultural suitability and fertility analysis, container plants shall be backfilled with thoroughly amended site soil per the following specification.

Unless otherwise specified, the backfill mix for all plants shall be 60% percent on site soil and 40% percent Type 1 organic soil amendment and 1 lb. of "Establish," general purpose fertilizer per gallon of container, or 1 lb. per each 4" of box size.

Unless otherwise specified, planting tablets shall not be used with California native species.

**PLANTING**

Make planting holes approximately square with vertical sides no greater than the depth of the plant container (or such depth) as needed so that the root crown has the correct relationship to adjacent finished grade per the planting details) and approximately twice the width of the plant container or rootball and larger if necessary to permit handling and planting without injury to the root system. Install root barriers that are indicated on the Contract Drawings in accordance with the details and/or the manufacturer's recommendations. Lightly scarify native soil at the bottom of planting holes.

Specimen Planting: When in close proximity to irrigation lines, plants in boxes (24 inches or larger) may be planted before installation of lateral irrigation lines. Re-route irrigation lines in conflict with specimen plant locations to clear the rootball.

Do not plant plants with a broken or cracked rootball. Such plants shall be considered defective and rejected.

Open and remove plant containers in such a manner that the plant roots are not injured.

After "water setting" the bottom half of the planting hole, set the plant approximately in the center of the planting hole and adjust the root crown to the correct relationship to finish grade per the planting details. After the plant has been placed, additional backfill shall be added to the hole to cover approximately one-half the height of the rootball. At this stage, water shall be added to the top of the partly filled hole to thoroughly saturate the rootball and adjacent soil. The remainder of the hole shall be backfilled and watering repeated.

Prune or remove any broken or damaged minor limbs. Any minor damage to plant material shall be brought to the attention of the Project Manager or BCA Inspector.

Immediately after planting, form a circular watering basin slightly larger than the planting tree: 6 inches high for trees and 5 inches high for shrubs. The bottom the basin shall be at the level of the surrounding finish grade.

Rearrange the area around the plants and watering basins to designated finish grade and dispose of excess soil.

After planting, plants shall be planted, with the root crown at the correct relationship to finish grade per the planting details. All plants which settle more than 1 inch shall be raised by the Contractor to the correct level, as shown in the planting details, at no additional cost to the City.

**MULCHING**

All planting areas except lawn shall receive a minimum two (2) inch deep layer of Top Dressing Mulch per the Planting Details and the Landscape Construction Notes Memoranda list. Mulch shall be spread evenly throughout planting beds and tree watering basins. Do not bury plant crowns.

**PLANT ESTABLISHMENT PERIOD**

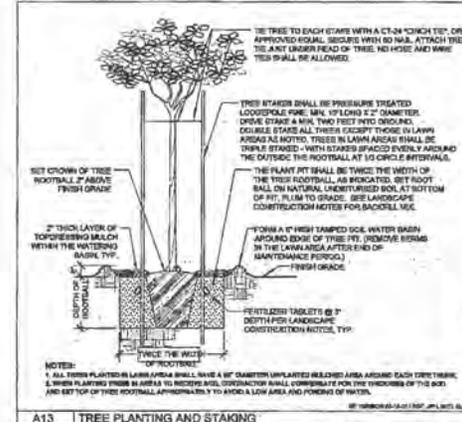
The plant establishment period shall be for a period of 90 days unless extended as described in this section. The plant establishment period shall be started when all planting and related work has been completed in accordance with the contract documents and approved by the Project Manager. The beginning of the plant establishment period shall be determined by an on site review by the Project Manager. The Contractor shall immediately replace any and all plant materials and/or grass which, for any reason dies or is damaged while under the Contractor's care. Replacement shall be made with seed and/or plants as indicated or specified for the original planting.

The Contractor shall be responsible for maintenance within the area of work throughout the period of construction and the plant establishment period. Broken or vandalized trees, shrubs, or tree stakes shall be replaced/repaired to a condition as initially installed within seven (7) days of damage. The maintenance shall include continuous operations of picking up trash and emptying trash cans daily, watering, the removal of all weeds in planting areas and all broad leaf weeds in lawn areas, mowing, rolling, blading, edging, cultivation, fertilization, spraying, control of pests, insects and rodents, reseeded, plant replacement (irrespective of cause), or any other operations necessary to assure normal plant growth and the collection and removal of all trash daily. The Contractor shall maintain the area of work at maximum seven (7) day intervals and perform any needed mowing of existing lawns within the area of work when the grass reaches a three (3) inch height maximum.

Any malfunctions of, or damage to, the irrigation system caused by the Contractor in the prosecution of his work shall be repaired within 24 hours.

The designated plant establishment period is part of the total contract time. The plant establishment period will be subdivided at fourteen (14) day intervals from the end of the plant establishment period, the planting, irrigation and other improvements do not reflect the intent of the plans and Landscape Construction Notes. All extensions of the plant establishment period shall be subject to the assessment of liquidated damages, (308-6).

All shrubs and ground covers shall be guaranteed for a period of one hundred and twenty (120) days from the end of the plant establishment period. All trees and shrubs 15 gallon size or larger shall be guaranteed for a period of one (1) year from the end of the plant establishment period.



**BUREAU OF ENGINEERING**

**ENGINEERING**

CITY OF LOS ANGELES

**DEPARTMENT OF PUBLIC WORKS**

**GARY LEE MOORE, P.E. ENV SP**

**INDUSTRIAL DESIGN**

**PLANTING NOTES AND DETAILS**

**FIELD LIGHTING**

**PROJECT: STRAUBEN PARK NORTH BASEBALL**

**ADDRESS: 6403 WHITBRETT AVE. NORTH HOLLYWOOD, CA 91605**

**WORK ORDER NO. E170414**

**PROJECT NO. L702**

**CITY OF LOS ANGELES**

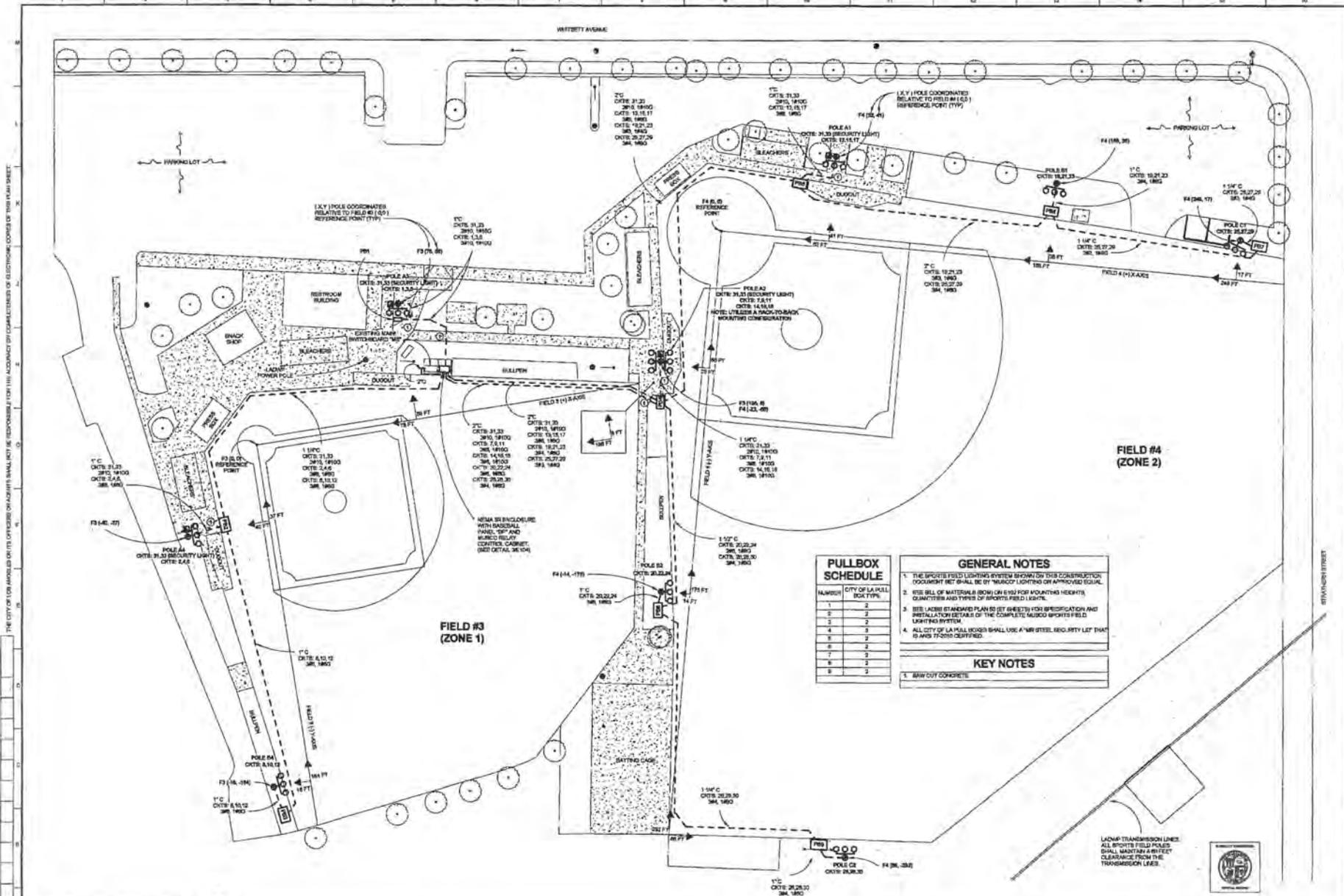
**DATE: 14 OF 26**

**RP 300093**

**INDEX NO.**



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 34. ALL DIMENSIONS UNLESS OTHERWISE NOTED.  
 1" = 20'-0"



**PULLBOX SCHEDULE**

| NUMBER | CITY OF LA HALL BOX TYPE |
|--------|--------------------------|
| 1      | 2                        |
| 2      | 2                        |
| 3      | 2                        |
| 4      | 3                        |
| 5      | 2                        |
| 6      | 2                        |
| 7      | 2                        |
| 8      | 2                        |
| 9      | 2                        |

- GENERAL NOTES**
1. THE SPORTS FIELD LIGHTING SYSTEM SHOWN ON THIS CONSTRUCTION DOCUMENT SET SHALL BE BY "BRANCO" LIGHTING OR APPROVED EQUAL EQUIVALENT.
  2. SEE BILL OF MATERIALS (BOM) ON SHEET FOR MOUNTING HEIGHTS, QUANTITIES AND TYPES OF SPORTS FIELD LIGHTS.
  3. SEE LUMINAIR STANDARD PLAN 50 (SEE SHEETS) FOR SPECIFICATION AND INSTALLATION DETAILS OF THE COMPLETE SPORTS FIELD LIGHTING SYSTEM.
  4. ALL CITY OF LA HALL BOXES SHALL USE 4" MIN STEEL SECURITY LID THAT IS AWAY FROM CURB.

- KEY NOTES**
1. SAW CUT CONCRETE.

1 PROPOSED SPORTS LIGHTING SITE PLAN  
 1" = 20'-0"

BUREAU OF ENGINEERING  
 DEPARTMENT OF PUBLIC WORKS  
 CITY OF LOS ANGELES  
 DARYL MOORE PE ENR SR  
 ARCHITECTURAL DIVISION  
 1200 N. GARDEN STREET  
 LOS ANGELES, CA 90012  
 (213) 475-3000  
 FAX: (213) 475-3000  
 DATE: 11/15/17  
 SHEET NO. 16 OF 26  
 PROJECT NO. E170414  
 DRAWING NO. E101  
 SHEET NO. 16 OF 26











**GENERAL NOTES:**

**APPLICABLE BUILDING CODE**

- All construction and workmanship shall conform to the following codes:
  - 2014 Los Angeles City Building Code (LABC).
  - The pole and foundation standard has been designed for lateral loads on the completed structure as follows:
    - Wind - ASCE 7-10; Vult = 110 mph (Exposure C); Vead = 85 mph (Exposure C); Risk Category = II.
  - Maximum total effective area (EPA) for luminaires per pole class:
    - LSS40A - 6.0 SQ.FT.      LSS60B - 16.0 SQ.FT.
    - LSS40B - 28.0 SQ.FT.      LSS60D - 26.0 SQ.FT.
    - LSS50B - 12.0 SQ.FT.      LSS70B - 8.0 SQ.FT.
    - LSS50C - 22.0 SQ.FT.      LSS70C - 20.0 SQ.FT.
    - LSS60A - 8.0 SQ.FT.      LSS70D - 42.0 SQ.FT.
- Seismic:  $S_a = 2.844$ ,  $S_v = 1.078$ ,  $S_w = 1.953$ ,  $S_e = 1.078$ , Risk Category = II;  $I = 1.0$ ; Site Class = D;  $R = 1.5$ ; Seismic Design Category = C;  $C_a = 0.575$  Strength Level typical (except LSS40B,  $C_a = 0.648$ ); Seismic Force Resisting System = Non-Building Structures, not similar to Buildings; Analysis Procedure = Equivalent Lateral Force Procedure.
- Maximum weight per luminaire = 40.0 pounds (including crossarm).

**GENERAL CONSTRUCTION**

- These notes shall be used in conjunction with the plans and any discrepancies shall be brought to the attention of the Engineer.
- Contractor must check all dimensions, clearances and job conditions before starting work. Engineer shall be notified immediately of any discrepancies or possible deficiencies.
- The drawings and specifications represent the finished structure. All brooming, temporary supports, shoring, etc., is the sole responsibility of the Contractor. Observation visits to the job site by the Engineer do not include inspection of construction procedures. The Contractor is solely responsible for all construction methods and for safety conditions of the work site. These visits shall not be construed as continuous and detailed inspections.
- Design, material, equipment, and products other than those described below or indicated on the drawings may be considered for use, provided prior approval is obtained from the City of Los Angeles.
- Installation shall comply with all applicable L.A. city zoning ordinances and its provisions.
- All changes in approved plans shall be made by addenda or change orders approved by City of Los Angeles.
- All tests and inspections shall be performed by an independent lab approved by City of Los Angeles.
- Plans shall be accompanied by a fully dimensioned plot plan showing all buildings and proposed pole locations.

**LIGHT POLE FOUNDATIONS**

(FOUNDATIONS MUST COMPLY WITH PRE-INSPECTION REPORT AS APPLICABLE)

- Reference Geotechnical Reports or LABC Sections 1805, 1807, and 1810.
- Allowable vertical bearing capacity: Reference Geotechnical Reports or 1,500 psf (LABC Table 1806.2) or 250 psf skin friction (LABC Section 1810.3.3.1.4).
- Allowable lateral soil bearing pressure: Reference Geotechnical Reports or 200 psf (LABC Table 1805.2 and Section 1806.3.4).
- Allowable design soil capacities must be verified by Geotechnical Engineer.
- If soft or questionable soil conditions are encountered during excavations, contact the Department for instructions before proceeding with the work.
- Soil formations that will require special design considerations or excavation procedures may exist. Pole foundations will need to be analyzed according to the soil conditions that exist.
- The Contractor must familiarize himself with the complete soil investigation (if any) and borings and contact the Geotechnical Engineer (as necessary) to understand the soil conditions and the possibility of ground water pumping and excavation stabilization of bracing during then pier base installation and placement of concrete backfill.
- All precast bases and concrete backfill must bear on and against firm undisturbed soil, as determined by a Geotechnical Engineer.
- All excavations must be free of debris and loose soil prior to foundation installation, and placement of concrete backfill. Casing may be required if caving occurs. In such case, approval by a Geotechnical Engineer is required. Put plywood collar around hole to prevent falling dirt from filling hole.
- All excavations must be dry or concrete shall be placed by the tremie method in accordance with ACI standard 336. Concrete placed by the tremie method shall have a minimum ultimate strength of 1,000 psi greater than required under "concrete backfill" below, and a maximum slump of 8 inches.
- Excavations shall be covered, fenced securely or provided with equivalent protection for hazards.

**CONCRETE BACKFILL**

- Concrete backfill shall attain a minimum compressive strength of 3000 psi at 28 days. Concrete shall obtain a minimum compressive strength of 2,000 psi prior to steel pole installation.
- Concrete: Classed 560-C-3250 designed for  $F_c = 2500$  psi, continuous inspection is not required.
- Slump shall not exceed 5 inches.
- Use type I/V-Portland Cement or as recommended by the Geotechnical Engineer.
- Concrete that will be exposed to sulfate-containing solutions or soils shall comply with the maximum water-cementitious ratios and minimum compressive strengths specified in ACI 318, Section 4.3.
- Aggregate ASTM D-33, use 1" maximum size.
- Place concrete immediately after completion of excavation and inspection by the Geotechnical Engineer and the L.A. City approved Inspector. No excavations shall be left unprotected or open overnight.
- Concrete shall be placed in one continuous operation (no construction joint) with special equipment to prevent concrete from striking the sides of the excavation. Maximum freefall shall not exceed 5 ft.
- Vibrate concrete full length.
- All concrete reinforcing steel shall conform to ASTM A615, Grade 60.

**STEEL POLE**

- Steel pole sections conform to the 2014 LABC Chapter 22, and AISI 360-10.
- All steel conforms ASTM specifications, as referenced on these drawings.
- Minimum elongation in 2 inch gauge length = 18%, and the minimum elongation in 8 inch gauge length = 20%.
- The fabricator shall provide mill tests or test data by a Los Angeles city approved testing agency showing performance of the foregoing:
- LONGITUDINAL WELDS:** All longitudinal seam welding shall be done prior to cold welding. Weld type: Automatic high frequency resistance, automatic submerged arc or hybrid laser beam/gas metal arc welding procedure. Joint: Butt Penetration: 80% except 100% at female end of slip joint, detail H/ET-12-1(M). Test: 80% min. - Visual per AWS D11 article 5.15 100% per - Visual per AWS D11 article 5.15 Certified data on seam welding from shaft manufacturer shall include:
  - inspection frequency and procedures; I.E.; Visual, US, Radiographic, etc.
  - Seam welding procedures; I.E.; percent penetration and method ERW, SAW, etc.
  - Method and length of 100 percent penetration weld at female end of slip joint.
 Welding operator: AWS certified welding operator (CWO) and shall be done by City of L.A. B&S licensed fabricator. Welding Inspector: AWS certified welding inspector (CWI) and approved by City of L.A. B&S deputy inspector in welding.
- CIRCUMFERENTIAL WELDS:** Circumferential welds are not allowed. Shafts shall be fabricated from continuous rolled plates or coil.
- All weldment conforms with AWS D1.1 specification for G.M.A.W. fillet utilizing E70S-X filler metal or S.A.W. fillet utilizing F7XX-EXX or FBXX-EXX filler metal. G.M.A.W. procedure conforms to AWS A5.18. S.A.W. procedure conforms to AWS 5.23.
- MANUFACTURERS SHAFT MARKINGS:** The manufacturer shall inscribe a common I.D. number on each shaft comprising a particular factory pole assembly. (See also manufacturers gauge marks below).
- FIELD ASSEMBLY AND MANUFACTURERS GAUGE MARKS:** The pole manufacturer shall provide and the contractor shall follow the recommended pole assembly instruction general, the pole shall be assembled on the ground and the entire structure lifted into position on the previously installed foundation. Shafts shall be connected by slip splices only, welded splices shall not be used. The manufacturer shall shop assemble the entire pole and inscribe gauge marks across each slip joint to guide the field assembly. The contractor shall assemble the pole in the presence of the Special Inspector who shall verify that each slip splice attains a minimum overlap of 1.5 x larger shaft diameter.
- GALVANIZING:** Pole assembly, all hardware and accessories (except for non-ferrous items) shall be hot dip galvanized per ASTM A123. All fabrication shall be done before galvanizing. Minimum weight of galvanizing shall be 2.00 oz./sq. ft. Shafts shall be galvanized by single dipping only. Double dipping is not allowed.
- SUBMITTALS:** Manufacturer shall furnish the department with a galvanizing weight report showing conformance foregoing by the thickness gauge. Method of measurement per ASTM E376.
- All miscellaneous structural steel items conform to the Steel Construction Manual, 13th Edition, American Institute of Steel Construction.

**PRECAST BASE**

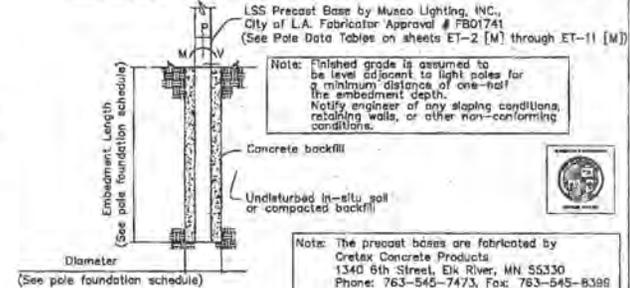
- Precast pole base conforms to 2014 LABC, Chapter 19 and to Building Code Requirements for Reinforced Concrete, ACI 318-11.

**TESTING AND INSPECTION**

- Testing and inspections in accordance with 2014 LABC.
- Prior to pouring of concrete, the Geotechnical Engineer shall inspect and approve the existing excavations.
- All compacted fill shall be placed under the supervision and approval of the Geotechnical Engineer.

**SUBMITTALS**

- Prior to any pole fabrication, the contractor shall submit and obtain the department's approval of:
  - All pole shaft certifications.
  - All remaining certifications prior to shipping any poles to job site.
 The contractor shall furnish written certifications showing compliance with ASTM and the foregoing specification.
- CROSSARMS: ASTM A500, GR.B Min  $F_y = 70$  KSI  
CAP: ASTM A48 class 30, zinc die cast (alloy no. 3).
- FIXTURE MOUNTING SECTIONS: ASTM A513,  $F_y = 38$  KSI
- POLE SHAFTS: The manufacturer shall furnish certified mill reports and mechanical test results showing compliance with ASTM A505A or ASTM A572, Gr 55 or Gr. 65. Each pole shaft and its mechanical and chemical data shall be traceable to its steel mill plate heat.
- PRESTRESS STRANDS: ASTM A416, GR 270 (Low relaxation).



**FOUNDATION DETAIL**  
N.T.S. CLA-ET-1(M)

**POLE FOUNDATION SCHEDULE**

| POLE TYPE-#<br>FIXTURES<br>(LSS- LIGHT<br>STRUCTURE SYSTEM) | MAX GROUNDLINE FORCES * |                  |                       | C.I.P. DEEP FOUNDATION |                     |
|---|-------------------------|------------------|-----------------------|------------------------|---------------------|
|   | Moment (M)<br>FT-LBS    | Shear (V)<br>LBS | Vertical (P)<br>LBS** | Diameter<br>Inches     | Embedment<br>Length |
| LSS40A-3 FIXTURES (MAX)                                     | 16,460                  | 658              | 722                   | 30                     | 8'-0"               |
| LSS40B-14 FIXTURES (MAX)                                    | 43,190                  | 1,491            | 2,207                 | 30                     | 12'-0"              |
| LSS50B-6 FIXTURES (MAX)                                     | 33,880                  | 1,027            | 1,460                 | 30                     | 10'-0"              |
| LSS60C-11 FIXTURES (MAX)                                    | 52,300                  | 1,484            | 2,106                 | 30                     | 12'-0"              |
| LSS60A-3 FIXTURES (MAX)                                     | 33,590                  | 998              | 1,248                 | 30                     | 10'-0"              |
| LSS60B-9 FIXTURES (MAX)                                     | 53,020                  | 1,447            | 1,874                 | 30                     | 12'-0"              |
| LSS60D-13 FIXTURES (MAX)                                    | 76,970                  | 1,980            | 2,732                 | 30                     | 14'-0"              |
| LSS70B-4 FIXTURES (MAX)                                     | 50,850                  | 1,274            | 1,725                 | 30                     | 12'-0"              |
| LSS70C-10 FIXTURES (MAX)                                    | 80,340                  | 1,668            | 2,578                 | 30                     | 14'-0"              |
| LSS70D-21 FIXTURES (MAX)                                    | 127,110                 | 2,816            | 4,327                 | 36                     | 16'-0"              |

\*GROUNDLINE FORCES FOR LSS40A, LSS40B, LSS50B, & LSS60C INCLUDE A MOUNTING BRACKET FOR ONE ATTACHMENT AT 90° AGL - REF DETAIL MET-15-2(M) & PIET-15-1(M).  
GROUNDLINE FORCES FOR REMAINDER OF POLE TYPES INCLUDE A MOUNTING BRACKET FOR TWO ATTACHMENTS AT 90° AGL - REF DETAIL IET-15-2(M) & PIET-15-1(M).  
\*\*GROUNDLINE FORCES DO NOT INCLUDE THE WEIGHT OF THE PRECAST BASE.

**STANDARD PLAN NO. 050**

THIS STANDARD PLAN IS THE PROPERTY OF THE DEPARTMENT OF RECREATION AND PARKS, CITY OF LOS ANGELES. ANY CIVIL OR STRUCTURAL ENGINEER FROM THE DEPARTMENT MAY SIGN AND STAMP THESE DRAWINGS FOR THE USE OF THE DEPARTMENT OF RECREATION AND PARKS ONLY.

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- ET-2(M) 40A-3 POLE / FOUNDATION STANDARD
- ET-3(M) 40B-14 POLE / FOUNDATION STANDARD
- ET-4(M) 50B-6 POLE / FOUNDATION STANDARD
- ET-5(M) 50C-11 POLE / FOUNDATION STANDARD
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- ET-13-1(M), ET-13-2(M) / AUX. MOUNTING DETAILS

**STANDARD STAMPING AREA**

**LADBS STANDARD PLAN #050**

**ENGINEERING**  
CITY OF LOS ANGELES

**DEPARTMENT OF PUBLIC WORKS**

**DARYL LEE MOORE, PE, ENV. ENGR.**  
REGISTERED PROFESSIONAL ENGINEER  
No. 12510  
EXPIRES 12/31/2014

**PROJECT:** STREETS AND PARKS IMPROVEMENTS  
**PROJECT NO.:** 1340 6TH STREET, ELK RIVER, MN 55330  
**DATE:** 02/22/14

**SCALE:** AS SHOWN

**DATE:** 02/22/14

**PROJECT NO.:** ET-1(M)

**SHEET NO.:** 22 OF 26

**PROJECT LOCATION:** 1340 6TH STREET, ELK RIVER, MN 55330

**PROJECT DESCRIPTION:** STREETS AND PARKS IMPROVEMENTS

**PROJECT ADDRESS:** 1340 6TH STREET, ELK RIVER, MN 55330

**PROJECT CONTACT:** DARYL LEE MOORE, PE, ENV. ENGR. 12510

**PROJECT PHONE:** 763-545-7473

**PROJECT FAX:** 763-545-8399

**PROJECT E-MAIL:** dmoore@retex.com

**PROJECT WEBSITE:** www.retex.com

**PROJECT URL:** www.retex.com

**PROJECT ADDRESS:** 1340 6TH STREET, ELK RIVER, MN 55330

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**PROJECT FAX:** 763-545-8399

**PROJECT E-MAIL:** dmoore@retex.com

**PROJECT WEBSITE:** www.retex.com

**PROJECT ADDRESS:** 1340 6TH STREET, ELK RIVER, MN 55330

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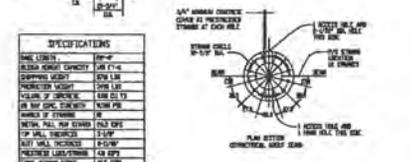
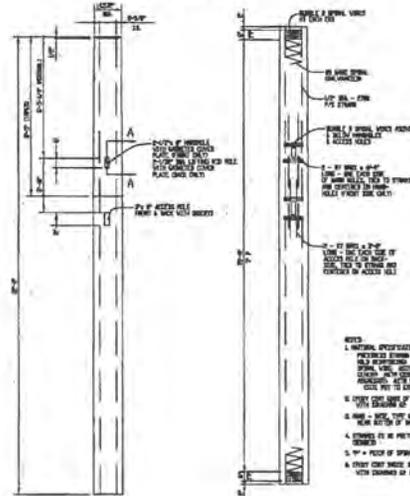
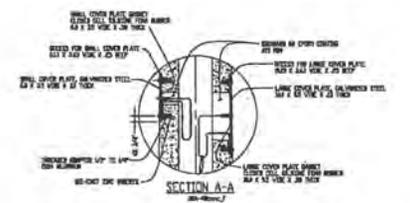
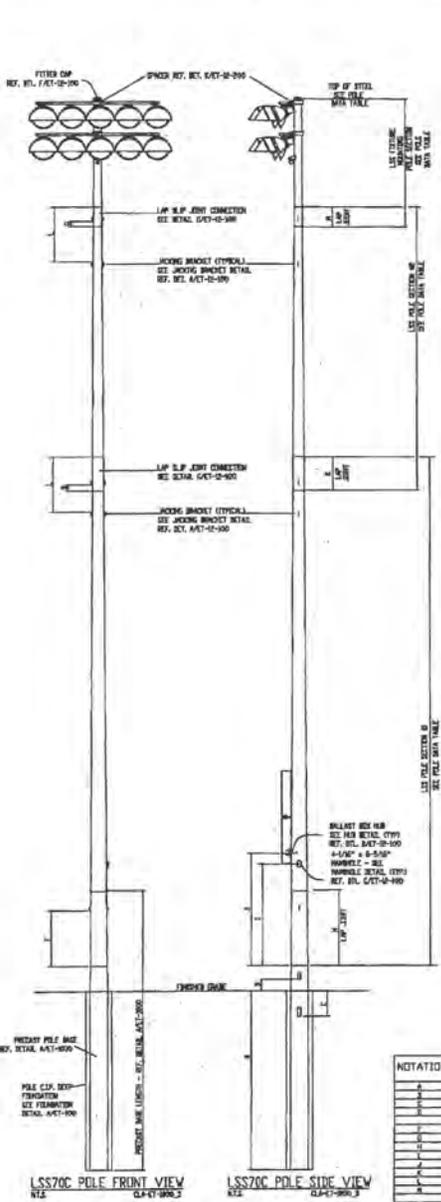
**PROJECT CONTACT:** DARYL LEE MOORE, PE,



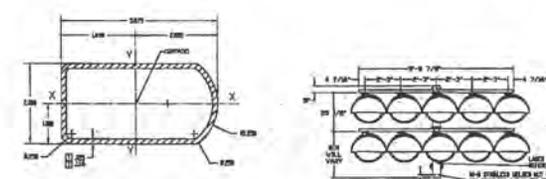


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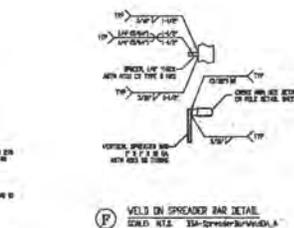
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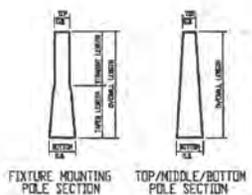
**(A) TYPE 48 PRECAST BASE DETAIL**  
A12



**SECTION PROPERTIES**  
 SECTION A-A  
 SECTION B-B  
 SECTION C-C  
 SECTION D-D  
 SECTION E-E  
 SECTION F-F  
 SECTION G-G  
 SECTION H-H  
 SECTION I-I  
 SECTION J-J  
 SECTION K-K  
 SECTION L-L  
 SECTION M-M  
 SECTION N-N  
 SECTION O-O  
 SECTION P-P  
 SECTION Q-Q  
 SECTION R-R  
 SECTION S-S  
 SECTION T-T  
 SECTION U-U  
 SECTION V-V  
 SECTION W-W  
 SECTION X-X  
 SECTION Y-Y  
 SECTION Z-Z



**(P) WELDED ON SPREADER BAR DETAIL**  
A12



**APPROVAL STAMPING AREA**

**LADBS STANDARD PLAN #050**

**POLE SCHEDULE**

| SITE LOCATION          | POLE MARK         | REFERENCE LOCATION | POLE TYPE         | FIXTURE CONFIGURATION | TOTAL HWY         | BALLAST AND RESILIENT BEDS |
|------------------------|-------------------|--------------------|-------------------|-----------------------|-------------------|----------------------------|
| SEE SITE PLAN BY FIELD | SEE POLE SCHEDULE | SEE POLE SCHEDULE  | SEE POLE SCHEDULE | SEE POLE SCHEDULE     | SEE POLE SCHEDULE | SEE POLE SCHEDULE          |

**POLE DATA TABLE**

| POLE TYPE | PRECAST MARK | MAX NUMBER OF FIXTURES | POLE SECTION     | TIP O.D. (INCHES) | BTM O.D. (INCHES) | OVERALL LENGTH | STRAIGHT LENGTH | TAPER LENGTH | THICKNESS (INCHES) | YIELD STRENGTH OF STEEL | ASTM REFERENCE |
|-----------|--------------|------------------------|------------------|-------------------|-------------------|----------------|-----------------|--------------|--------------------|-------------------------|----------------|
| LSS70C    | 10-100       | 10                     | FIXTURE MOUNTING | 10.00             | 6.00              | 30'-0"         | 27'-0"          | 3'-0"        | 1/2"               | 50,000 PSI              | A572-50        |

**NOTATION**

| NOTATION | DIMENSION |
|----------|-----------|
| A        | 10'-0"    |
| B        | 6'-0"     |
| C        | 10'-0"    |
| D        | 10'-0"    |
| E        | 10'-0"    |
| F        | 10'-0"    |
| G        | 10'-0"    |
| H        | 10'-0"    |
| I        | 10'-0"    |
| J        | 10'-0"    |
| K        | 10'-0"    |
| L        | 10'-0"    |
| M        | 10'-0"    |
| N        | 10'-0"    |
| O        | 10'-0"    |
| P        | 10'-0"    |
| Q        | 10'-0"    |
| R        | 10'-0"    |
| S        | 10'-0"    |
| T        | 10'-0"    |
| U        | 10'-0"    |
| V        | 10'-0"    |
| W        | 10'-0"    |
| X        | 10'-0"    |
| Y        | 10'-0"    |
| Z        | 10'-0"    |

**ENGINEERING**  
 CITY OF LOS ANGELES  
 PROJECT NO. RP 300093  
 SHEET NO. 25 OF 28  
 DATE 05/25/10

**DESIGNER**  
 STRATHMORE PARK NORTH  
 BASEBALL FIELD LIGHTING  
 5048 WHITTNEY AVENUE  
 LOS ANGELES CA 90008

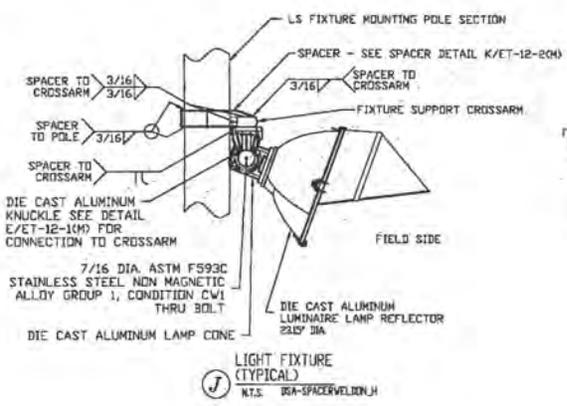
**APPROVED BY**  
 [Signature]

**STAMPING AREA**  
 APPROVED BY: [Signature]  
 DATE: 05/25/10

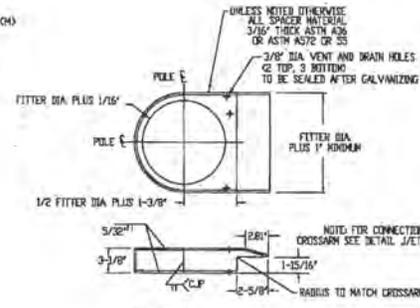




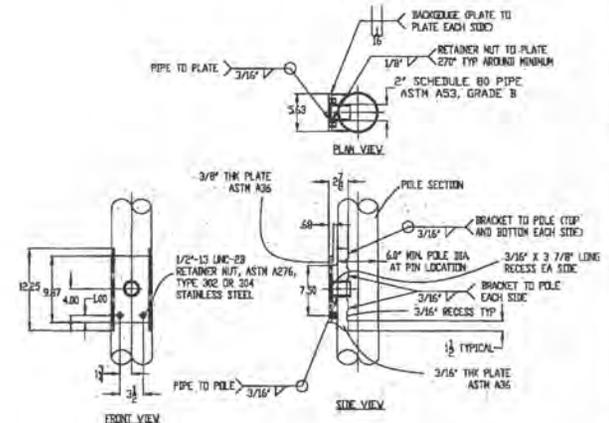
THE CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION  
 7/16/14 P.M. City Engineer's Department has reviewed and approved this drawing for the accuracy of the electrical work shown hereon.  
 SHEET DATE: 10/20/13



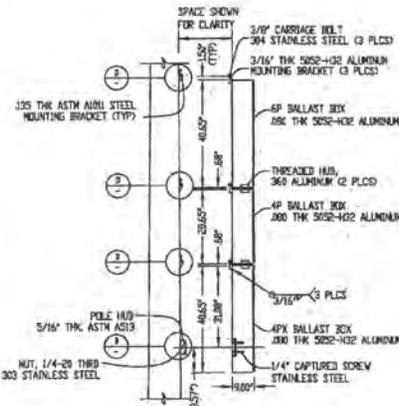
**J** LIGHT FIXTURE (TYPICAL)  
N.T.S. ISA-SPACERVELDON\_H



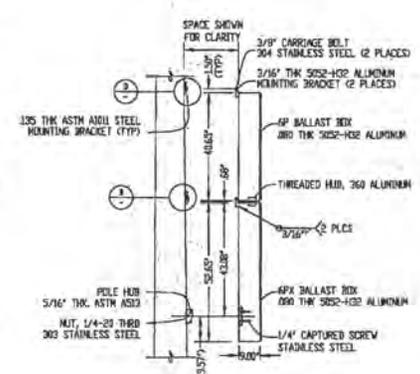
**K** SPACER DETAIL  
N.T.S. ISA-SPACERVELDON\_H



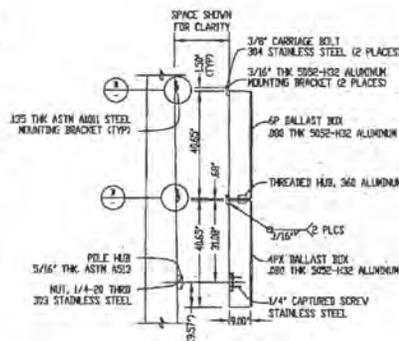
**L** BRACKET DETAIL  
N.T.S. ISA-34-011-L\_A



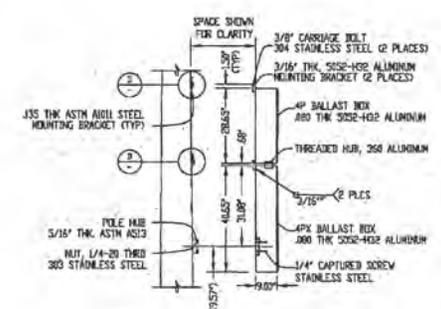
**T** 6P/4P/4PX BALLAST BOX CONNECTION DETAIL  
N.T.S. ISA-6P/4P/4PX\_C



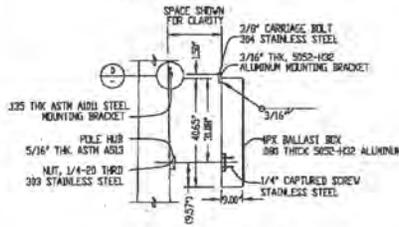
**S** 6P/6PX BALLAST BOX CONNECTION DETAIL  
N.T.S. ISA-6P/6PX\_C



**R** 6P/4PX BALLAST BOX CONNECTION DETAIL  
N.T.S. ISA-6P/4PX\_C



**Q** 4P/4PX BALLAST BOX CONNECTION DETAIL  
N.T.S. ISA-4P/4PX\_C



**O** 4PX BALLAST BOX CONNECTION DETAIL  
N.T.S. ISA-4PX\_C

APPROVAL STAMPING AREA

LADBS STANDARD PLAN #050



|   |  |
|---|--|
| <b>CITY OF LOS ANGELES</b>  |  |
| DEPARTMENT OF PUBLIC WORKS<br>ENGINEERING DIVISION<br>PROJECT: STREET LIGHTING<br>DRAWN BY: [Signature]<br>CHECKED BY: [Signature]<br>APPROVED BY: [Signature]                        | CITY ENGINEER<br>CITY OF LOS ANGELES<br>RP 300093<br>DATE: [Blank]<br>SCALE: [Blank] |
| APPROVAL STAMPING AREA<br>LADBS STANDARD PLAN #050<br>CITY OF LOS ANGELES<br>PROJECT: STREET LIGHTING<br>DRAWN BY: [Signature]<br>CHECKED BY: [Signature]<br>APPROVED BY: [Signature] |  |
| WORK SHEET NO. E170414<br>DRAWING NO. ET-12-2(M)<br>SHEET NO. 28 OF 28  |  |

**BOARD REPORT**

NO. 17-088

DATE April 05, 2017

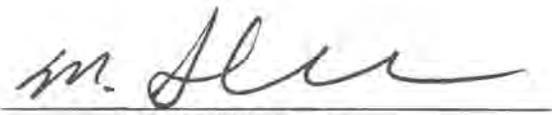
C.D. 4

**BOARD OF RECREATION AND PARK COMMISSIONERS**

SUBJECT: GREEK THEATRE – TRANSFER BETWEEN REVENUE ACCOUNTS FOR FISCAL YEAR 2016-17

AP Diaz \_\_\_\_\_  
R. Barajas \_\_\_\_\_  
H. Fujita \_\_\_\_\_

V. Israel \_\_\_\_\_  
N. Williams EC



General Manager

Approved \_\_\_\_\_

Disapproved \_\_\_\_\_

Withdrawn \_\_\_\_\_

RECOMMENDATIONS

1. Authorize the Chief Accounting Employee of the Department of Recreation and Parks (RAP) to transfer Two Million, Eight Hundred Thousand Dollars (\$2,800,000.00) from the Greek Theatre Operation account 52H-89-89MG01 to the RAP General Fund 302/88 Revenue Source 4155 to meet the RAP budget mandate; and,
2. Authorize RAP's Chief Accounting Employee to make technical or clerical corrections as necessary, consistent with the actions of the City Council in adopting the Fiscal Year 2016-17 budget and the intent of this Report.

SUMMARY

RAP's Fiscal Year (FY) 2016-17 General Fund Operating Budget, as adopted by the Mayor and City Council under Council File No. 16-0600 dated June 2, 2016, included the annual revenue in the amount of Two Million Eight Hundred Thousand Dollars (\$2,800,000.00) from the Greek Theatre. Report No. 16-240 dated December 14, 2016 reported an annual net total revenue income of Five Million Two Hundred Thousand Dollars (\$5,200,000.00) from the Greek Theatre 2016 Season.

The recommendations in this Report are needed for staff to transfer the Greek Theatre revenue to the appropriate account in order to meet the RAP budget mandate for FY 2016-17.

FISCAL IMPACT STATEMENT

This transfer between revenue accounts is for budgetary adjustments and has a net zero impact on RAP's General Fund.

This Report was prepared by Sondra Fu, Senior Management Analyst II, Finance Division.



**BOARD REPORT**

NO. 17-089

DATE April 05, 2016

C.D. 1

**BOARD OF RECREATION AND PARK COMMISSIONERS**

SUBJECT: LUMMIS HOUSE GENERAL IMPROVEMENTS – PROPOSITION A EXCESS FUNDS; AUTHORIZATION TO SUBMIT GRANT APPLICATION; ACCEPTANCE OF GRANT FUNDS; CITY COUNCIL RESOLUTION AND YOUTH EMPLOYMENT PLAN

|                  |                           |
|------------------|---------------------------|
| AP Diaz _____    | V. Israel _____           |
| R. Barajas _____ | for N. Williams <u>GC</u> |
| H. Fujita _____  |                           |

  
\_\_\_\_\_  
General Manager

Approved \_\_\_\_\_ Disapproved \_\_\_\_\_ Withdrawn \_\_\_\_\_

RECOMMENDATIONS

1. Approve the Department of Recreation and Parks' (RAP) submission of a Proposition A Excess Funds grant application for the Lummis House General Improvements Project, which consists of general improvements to the Lummis Home and Gardens, including, but not limited to refurbishing interior and exterior of the free standing restroom building;
2. Designate RAP's General Manager, Executive Officer, or Assistant General Manager as the agent to conduct all negotiations, execute and submit all documents, including, but not limited to applications, agreements, amendments, and payment requests, which may be necessary for the completion of the Lummis House General Improvements Project;
3. Recommend to the City Council the adoption of the accompanying Resolution (Attachment No. 1), which authorizes the submission of a grant application for the Proposition A Excess Funds grant in the amount of One Hundred Thousand Dollars (\$100,000.00) from the First Supervisorial District of the County of Los Angeles in partnership with the Los Angeles County Regional Park and Open Space District for the Lummis House General Improvements Project;
4. Recommend to the City Council the adoption of the accompanying Proposition A Youth Employment Plan (YEP) (Attachment No. 2), relative to the Lummis House General Improvements Project;
5. Authorize RAP's Chief Accounting Employee to establish the necessary account and/or to appropriate funding received within "Recreation and Parks Grant" Fund 205 to accept the Proposition A Excess Funds grant in the amount of One Hundred Thousand Dollars (\$100,000.00), if awarded, for Lummis House General Improvements Project; and

## BOARD REPORT

PG. 2 NO. 17-089

6. Direct RAP staff to transmit a copy of the Resolution and YEP to the Mayor's Office, Office of the City Administrative Officer, Office of the Chief Legislative Analyst, and the City Clerk for Committee and City Council approval, in accordance with Proposition A grant guidelines and the Los Angeles Administrative Code Section 14.6.

### SUMMARY

The First Supervisorial District of the Los Angeles County has allocated Proposition A Excess Funds in the amount of One Hundred Thousand Dollars (\$100,000.00) for the proposed Lummis House General improvements Project (Project). The funding request was initiated by Councilmember Gilbert Cedillo's Office, First Council District. RAP is required to submit a grant application in order to secure this funding.

The Lummis House is located in northeast Los Angeles at 200 East Avenue 43, Los Angeles, CA 90031. The Project includes, but is not limited to, refurbishing the interior and exterior of the free standing restroom building. The estimated Project cost, including design and construction, is approximately One Hundred Thousand Dollars (\$100,000.00). If awarded, the Project is expected to be completed in early 2019 through a City-approved contract vendor and managed by RAP's Planning, Maintenance, and Construction Branch.

### FISCAL IMPACT STATEMENT

The Project will be funded using Proposition A Excess Funds, if awarded. There is no immediate fiscal impact to RAP's General Fund. However, operations and maintenance costs will be evaluated and included in future RAP budget requests. As the Project will make general improvements to an existing facility, operation and maintenance costs are anticipated to be similar to, or less than, that of the existing facility.

This Report was prepared by Sondra Fu, Senior Management Analyst II, Finance Division.

### LIST OF ATTACHMENTS

- 1) Proposed Resolution
- 2) Proposition A Youth Employment Plan

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOS ANGELES  
APPROVING THE APPLICATION FOR GRANT FUNDS FROM  
THE LOS ANGELES COUNTY REGIONAL PARK AND OPEN SPACE DISTRICT  
FOR THE FIRST SUPERVISORIAL DISTRICT EXCESS FUNDS AND APPROVING THE  
ADOPTION OF A YOUTH EMPLOYMENT PLAN FOR THE  
LUMMIS HOUSE GENERAL IMPROVEMENTS PROJECT**

WHEREAS, the people of the County of Los Angeles on November 3, 1992, and on November 5, 1996 enacted Los Angeles County Proposition A, Safe Neighborhood Parks, Gang Prevention, Tree-Planting, Senior and Youth Recreation, Beach and Wildlife Protection (the Propositions), which among other uses, provides funds to public agencies and nonprofit organizations in the County for the purpose of acquiring and/or development facilities and open space for public recreation;

WHEREAS, the Propositions also created the Los Angeles County Regional Park and Open Space District (the District) to administer said funds;

WHEREAS, the District has set forth the necessary procedures governing application for grant funds under the Propositions;

WHEREAS, the District's procedures require the City of Los Angeles to certify, by resolution, the approval of the application before submission of said application(s) to the District; and

WHEREAS, said application contains assurances that the City of Los Angeles must comply with;

WHEREAS, the City of Los Angeles will enter into an Agreement with the District to provide funds for acquisition and development projects; and,

WHEREAS, the District's procedures require the adoption of a Youth Employment Plan for development projects by the governing body of the agency.

NOW, THEREFORE, BE IT RESOLVED THAT THE CITY COUNCIL OF THE CITY OF LOS ANGELES HEREBY:

1. Approves the filing of an application with the Los Angeles County Regional Park and Open Space District for First Supervisorial District Excess Funds for the above project;
2. Certifies that the City of Los Angeles understands both the assurances and certification requirements in the application form;
3. Certifies that the City of Los Angeles has, or will have, sufficient funds to operate and maintain the project in perpetuity;

**ATTACHMENT 1**

4. Certifies that the City of Los Angeles will sign and return within 30 (thirty) days, both copies of the project agreement sent by the District for authorizing signature; and
5. Approves the adoption of a Youth Employment Plan for the project (see attached); and
6. Appoints the General Manager, Executive Officer, or Assistant General Manager, Department of Recreation and Parks, to conduct all negotiations, and to execute and submit all documents including, but not limited to, applications, agreements, amendments, payment requests and so forth, which may be necessary for the completion of the aforementioned project

Approved and adopted the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_

The undersigned City Clerk of the Applicant here before named does hereby attest and certify that the forgoing is a true and full copy of a Resolution of the City Council of the City of Los Angeles adopted at a duly convened meeting on the aforementioned date, which has not been altered, amended or repealed.

HOLLY L. WOLCOTT, City Clerk

By: \_\_\_\_\_

**City of Los Angeles****Lummis House General Improvements  
Grant No. TBD****YOUTH EMPLOYMENT PLAN****Background:**

The City of Los Angeles (City) is using \$100,000.00 in Proposition A Excess Funds from completed Prop A projects from the Safe Neighborhood Parks Proposition of 1996 (A-II) provided to the City of Los Angeles for the project.

The proposed project will consist of general improvements to Lummis Home and Gardens, including refurbishing the interior and exterior of the free standing restroom building.

**Tasks that may be performed by at-risk youth:**

If sufficient funding is available, and if the nature of the project will allow it, the City will endeavor to employ at-risk youth to perform tasks that may include but are not limited to general site clean-up, landscaping, project management assistance, administrative assistance, etc.

**Estimated Cost of Youth Employment:**

Total estimated hours of youth employment on the project: **None**

Estimated cost per hour: **None**

Total estimated cost of youth employment: **None**

**Method of Youth Employment:**

Due to the nature of the project and requirement of skilled labor, the City of Los Angeles will not employ local at-risk-youth (Ages 14-24) on the project.

**Youth Employment Goal:**

Under the provisions of the Los Angeles County Regional Park and Open Space District policy on employment of at-risk youth, the Proposition A Youth Employment Goal (YEG) of the City of Los Angeles is Twelve Million, One Hundred Eighty-Eight Thousand, Four Hundred Eighty-Six Thousand Dollars (\$12,188,486.00) [equal to fifty percent of the City's M&S funds allocations from the 1992 (A-I) and 1996 (A-II) Propositions]. To date, the City has received credit of employing at-risk youth totaling Fifteen Million, Six Hundred Twenty-Eight Thousand, Eight Hundred Thirty-Eight Dollars (\$15,628,838.00) in youth labor wages paid and has satisfied its Proposition A At-Risk YEG obligation. However, the City will endeavor to hire at-risk youth on this Project if the nature of work and sufficient funding permit.



**BOARD REPORT**

NO. 17-090

DATE April 05, 2017

C.D. 14

**BOARD OF RECREATION AND PARK COMMISSIONERS**

SUBJECT: ROSE HILLS/EL SERENO RECREATION CENTER REHABILITATION PROJECT – PROPOSITION A EXCESS FUNDS; AUTHORIZATION TO SUBMIT GRANT APPLICATION; ACCEPTANCE OF GRANT FUNDS; CITY COUNCIL RESOLUTION AND YOUTH EMPLOYMENT PLAN

|                  |                       |
|------------------|-----------------------|
| AP Diaz _____    | V. Israel _____       |
| R. Barajas _____ | N. Williams <u>BC</u> |
| H. Fujita _____  |                       |

  
\_\_\_\_\_  
General Manager

Approved \_\_\_\_\_ Disapproved \_\_\_\_\_ Withdrawn \_\_\_\_\_

RECOMMENDATIONS

1. Approve the Department of Recreation and Parks' (RAP) submission of a Proposition A Excess Funds grant application for the Rose Hills/El Sereno Recreation Center Rehabilitation Project, which consists of the purchase and installation of HVAC equipment, and related improvements;
2. Designate RAP's General Manager, Executive Officer, or Assistant General Manager as the agent to conduct all negotiations, execute and submit all documents, including, but not limited to applications, agreements, amendments, and payment requests, which may be necessary for the completion of the Rose Hills/El Sereno Recreation Center Rehabilitation Project;
3. Recommend to the City Council the adoption of the accompanying Resolution (Attachment No. 1), which authorizes the submission of a grant application for the Proposition A Excess Funds grant in the amount of Fifty Thousand Dollars (\$50,000.00) from the First Supervisorial District of the County of Los Angeles in partnership with the Los Angeles County Regional Park and Open Space District for the Rose Hills/El Sereno Recreation Center Rehabilitation Project;
4. Recommend to the City Council the adoption of the accompanying Proposition A Youth Employment Plan (YEP) (Attachment No. 2), relative to the Rose Hills/El Sereno Recreation Center Rehabilitation Project;
5. Authorize RAP's Chief Accounting Employee to establish the necessary account and/or to appropriate funding received within "Recreation and Parks Grant" Fund 205 to accept the Proposition A Excess Funds grant in the amount of Fifty Thousand Dollars (\$50,000.00) for Rose Hills/El Sereno Recreation Center Rehabilitation Project; and

## BOARD REPORT

PG. 2 NO. 17-090

6. Direct RAP staff to transmit a copy of the Resolution and YEP to the Mayor's Office, Office of the City Administrative Officer, Office of the Chief Legislative Analyst, and the City Clerk for Committee and City Council approval, in accordance with Proposition A grant guidelines and the Los Angeles Administrative Code Section 14.6.

### SUMMARY

The First Supervisorial District of the Los Angeles County has allocated Proposition A Excess Funds in the amount of Fifty Thousand Dollars (\$50,000.00) for the proposed Rose Hills/El Sereno Recreation Center Rehabilitation Project (Project). The funding request was initiated by Councilmember Gilbert Cedillo's Office, First Council District. RAP is required to submit a grant application in order to secure this funding.

The Project is located in East Los Angeles in El Sereno at 4530 Mercury Avenue, Los Angeles, California 90032. The Project consists of the purchase and installation of HVAC equipment, and related improvements. If awarded, the Project is expected to be completed by December 2017 through a City-approved contract vendor and managed by RAP's Planning, Construction, and Maintenance Branch.

### FISCAL IMPACT STATEMENT

The Project will be funded using Proposition A Excess Funds, if awarded. There is no immediate fiscal impact to the RAP's General Fund. However, operations and maintenance costs will be evaluated and included in future RAP budget requests if needed. As the Project will make general improvements to an existing facility, operation and maintenance costs are anticipated to be similar to, or less than, that of the existing facility.

This Report was prepared by Sondra Fu, Senior Management Analyst II, Finance Division.

### LIST OF ATTACHMENTS

- 1) Proposed Resolution
- 2) Proposition A Youth Employment Plan

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOS ANGELES  
APPROVING THE APPLICATION FOR GRANT FUNDS FROM  
THE LOS ANGELES COUNTY REGIONAL PARK AND OPEN SPACE DISTRICT  
FOR THE FIRST SUPERVISORIAL DISTRICT EXCESS FUNDS AND APPROVING THE  
ADOPTION OF A YOUTH EMPLOYMENT PLAN FOR THE  
ROSE HILLS/EL SERENO RECREATION CENTER REHABILITATION PROJECT**

WHEREAS, the people of the County of Los Angeles on November 3, 1992, and on November 5, 1996 enacted Los Angeles County Proposition A, Safe Neighborhood Parks, Gang Prevention, Tree-Planting, Senior and Youth Recreation, Beach and Wildlife Protection (the Propositions), which among other uses, provides funds to public agencies and nonprofit organizations in the County for the purpose of acquiring and/or development facilities and open space for public recreation;

WHEREAS, the Propositions also created the Los Angeles County Regional Park and Open Space District (the District) to administer said funds;

WHEREAS, the District has set forth the necessary procedures governing application for grant funds under the Propositions;

WHEREAS, the District's procedures require the City of Los Angeles to certify, by resolution, the approval of the application before submission of said application(s) to the District;

WHEREAS, said application contains assurances that the City of Los Angeles must comply with;

WHEREAS, the City of Los Angeles will enter into an Agreement with the District to provide funds for acquisition and development projects; and,

WHEREAS, the District's procedures require the adoption of a Youth Employment Plan for development projects by the governing body of the agency.

NOW, THEREFORE, BE IT RESOLVED THAT THE CITY COUNCIL OF THE CITY OF LOS ANGELES HEREBY:

1. Approves the filing of an application with the Los Angeles County Regional Park and Open Space District for First Supervisorial District Excess Funds for the above project;
2. Certifies that the City of Los Angeles understands both the assurances and certification requirements in the application form;
3. Certifies that the City of Los Angeles has, or will have, sufficient funds to operate and maintain the project in perpetuity;
4. Certifies that the City of Los Angeles will sign and return within thirty (30) days, both copies of the project agreement sent by the District for authorizing signature;

**ATTACHMENT 1**

5. Approves the adoption of a Youth Employment Plan for the project (see attached); and
6. Appoints the General Manager, Executive Officer, or Assistant General Manager, Department of Recreation and Parks, to conduct all negotiations, and to execute and submit all documents including, but not limited to, applications, agreements, amendments, payment requests and so forth, which may be necessary for the completion of the aforementioned project.

Approved and adopted the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_

The undersigned City Clerk of the Applicant here before named does hereby attest and certify that the forgoing is a true and full copy of a Resolution of the City Council of the City of Los Angeles adopted at a duly convened meeting on the aforementioned date, which has not been altered, amended or repealed.

HOLLY L. WOLCOTT, City Clerk

By: \_\_\_\_\_

## City of Los Angeles

Rose Hills/EI Sereno Recreation Center Rehabilitation  
Grant No. TBD

## YOUTH EMPLOYMENT PLAN

**Background:**

The City of Los Angeles (City) is using \$50,000.00 in Proposition A Excess Funds from completed Prop A projects from the Safe Neighborhood Parks Proposition of 1996 (A-II) provided to the City of Los Angeles for the project.

The proposed project will consist of the purchase and installation of HVAC equipment, and related improvements to the Rose Hills/EI Sereno Recreation Center.

**Tasks that may be performed by at-risk youth:**

If sufficient funding is available, and if the nature of the project will allow it, the City will endeavor to employ at-risk youth to perform tasks that may include but are not limited to general site clean-up, landscaping, project management assistance, administrative assistance, etc.

**Estimated Cost of Youth Employment:**

Total estimated hours of youth employment on the project: **None**

Estimated cost per hour: **None**

Total estimated cost of youth employment: **None**

**Method of Youth Employment:**

Due to the nature of the project and requirement of skilled labor, the City of Los Angeles will not employ local at-risk-youth (Ages 14-24) on the project.

**Youth Employment Goal:**

Under the provisions of the Los Angeles County Regional Park and Open Space District policy on employment of at-risk youth, the Proposition A Youth Employment Goal (YEG) of the City of Los Angeles is Twelve Million, One Hundred Eighty-Eight Thousand, Four Hundred Eighty-Six Thousand Dollars (\$12,188,486.00) [equal to fifty percent of the City of LA's M&S funds allocations from the 1992 (A-I) and 1996 (A-II) Propositions]. To date, the City has received credit of employing at-risk youth totaling Fifteen Million, Six Hundred Twenty-Eight Thousand, Eight Hundred Thirty-Eight Dollars (\$15,628,838.00) in youth labor wages paid and has satisfied its Proposition A At-Risk YEG obligation. However, the City will endeavor to hire at-risk youth on this Project, if the nature of work and sufficient funding permit.



**BOARD REPORT**

NO. 17-091

DATE April 05, 2017

C.D. 1

**BOARD OF RECREATION AND PARK COMMISSIONERS**

SUBJECT: **MACARTHUR PARK PERMISSION TO SERVE ALCOHOLIC BEVERAGES**

AP Diaz \_\_\_\_\_  
R. Barajas \_\_\_\_\_  
H. Fujita \_\_\_\_\_

\*V. Israel \_\_\_\_\_  
N. Williams \_\_\_\_\_



General Manager

Approved \_\_\_\_\_

Disapproved \_\_\_\_\_

Withdrawn \_\_\_\_\_

RECOMMENDATIONS:

Approve the sale and serving of alcoholic beverages at a special event concert to take place at MacArthur Park Levitt Pavilion Band Shell in accordance with the Department of Recreation and Parks' policies and procedures regarding the sale and service of alcoholic beverages.

SUMMARY:

Thirty-3 Group, Oro Presents LLC, and Urban Strategy Group are collaborating to host "Jaime Jones Presents: Paradise in the Park", a musical concert event. The event will be held on Saturday, May 13, 2017, 3:00 p.m. to 10:30 p.m. at MacArthur Park Levitt Pavilion Band Shell, 2230 West 6<sup>th</sup> Street, Los Angeles, CA, 90057. The event will encompass a portion of the Park as shown on Attachment 1. The event will feature DJ Jaime Jones, and, there will be a per ticket charge. The concert is for adults, twenty-one (21) years of age and older, and attendees will be asked to show proof of age at the main entrance. The event is expected to attract up to three thousand (3,000) people.

The event sponsors are planning to rent several parking lots in the area and will alert the online transportation company, Uber, of the event including date and time. The sponsors will hire security and maintenance companies at their own expense.

As part of the event, pending Board approval, it is intended that beer and wine will be sold and served at the concert. The serving of alcohol will be allowed in two secured beer gardens. Event security will monitor the entrance and exits to these areas. The sponsors will ensure all State and local regulations are met, as well as the Board's Alcoholic Beverage Policy.

The Board's Alcohol Beverage Policy requires that an event where alcoholic beverages are sold, beyond the five events allowed per Region, per calendar year, must obtain additional approval from the Board. The Metro Region anticipated alcohol-related events for 2017 include Seoul International Korean Festival, Debs Parks Audubon Society Event, Echo Park Lotus Festival, Arroyo Seco Lummis Days Festival, and the First Council District Jazz Festival.

## BOARD REPORT

PG. 2      NO. 17-091

Attached is a letter of support from the MacArthur Park Advisory Board, herein included Attachment 2.

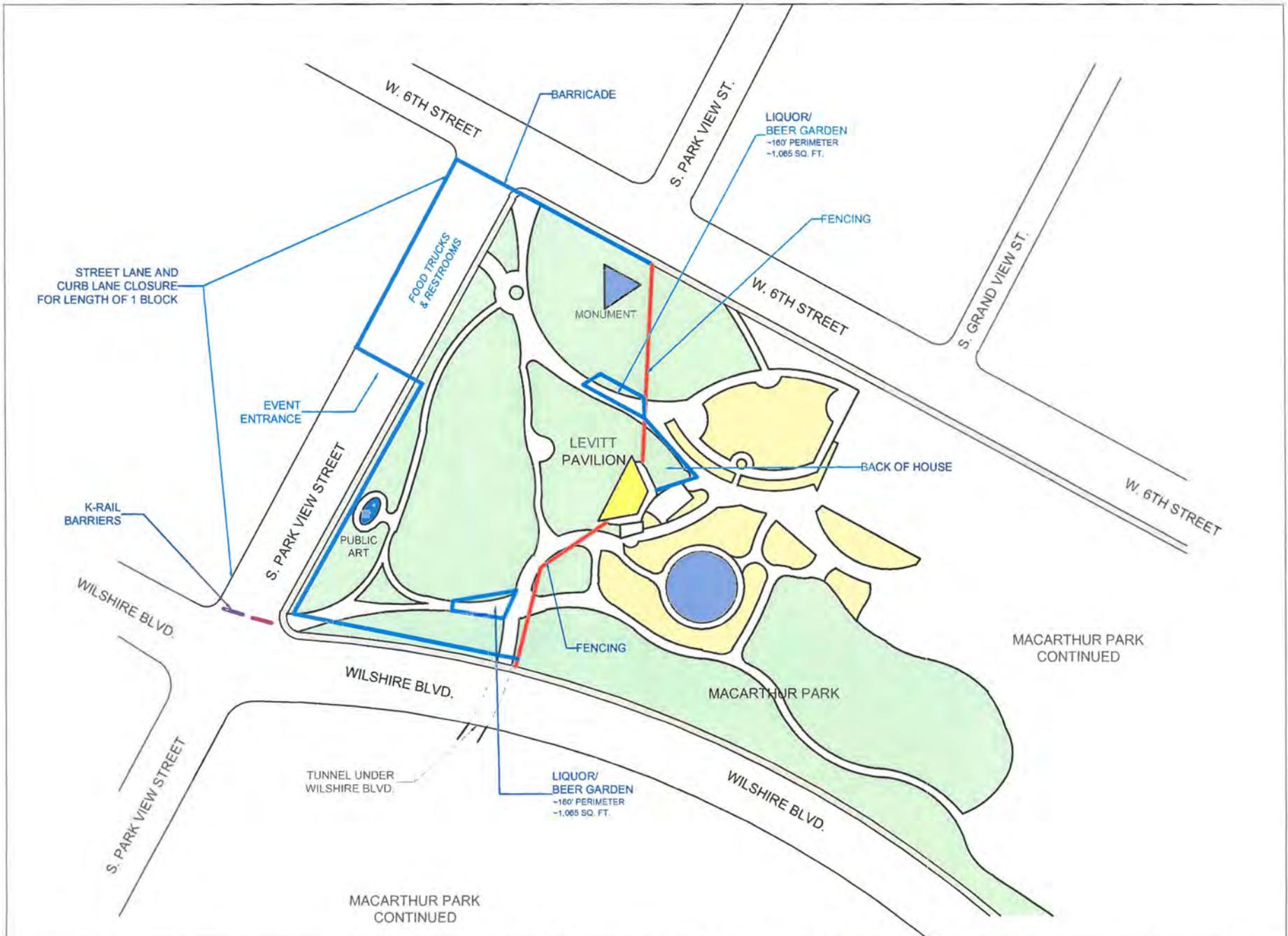
### FISCAL IMPACT STATEMENT

There is no negative impact to the Department of Recreation and Parks' (RAP) General Fund as the event organizer will incur all expenses related to the event. In addition, twenty percent (20%) of the sales of alcoholic beverages will go to RAP.

This Report was prepared by Bertha Calderon, Management Analyst II, Metro Region.

### LIST OF ATTACHMENTS

- 1) Event Plot Plan
- 2) MacArthur Park Advisory Board Letter of Support



|  |  |  |                            |  |   |   |                                |
|--|--|--|----------------------------|--|---|---|--------------------------------|
| <p><b>CLIENT:</b></p> <p><b>EVENT:</b><br/>CONCERT IN THE PARK</p> | <p><b>ADDRESS:</b><br/>2230 W 6TH STREET<br/>LOS ANGELES, CA 90057</p> | <p><b>EVENT LEAD:</b><br/>CAMERON HUSTON<br/>ADAM GOLD</p> | <p><b>EVENT DATES:</b></p> | <p><b>NOTES:</b><br/>CURRENTLY SHOWING<br/>1,499 LINEAL FT. OF BARRICADE<br/>&amp; 40 LINEAL FT. OF K-RAIL</p> | <p><b>DRAWING:</b><br/>PLAN OVERVIEW</p> <p><b>DRAWN BY:</b><br/>EE</p> | <p><b>SCALE:</b><br/>1/128" = 1'-0"</p> <p><b>VERSION:</b><br/>3.26</p> | <p><b>PAGE:</b><br/>1 OF 1</p> |
|--|--|--|----------------------------|--|---|---|--------------------------------|

MacArthur Park Advisory Board  
2230 West 6th Street  
Los Angeles, CA 90057

March, 28, 2017

To whom it may concern:

The MacArthur Park Advisory Board fully supports the Paradise in the Park event, starring Jamie Jones, at the Levitt Pavilion on the May 13, 2017.

We believe this event will provide an opportunity to create greater diversity within our community. It will also bring growth and greater exposure. Being able to host this event will attract constituents from other parts of the cities, and it will give them the opportunity to enjoy the natural richness of our community.

Most importantly, this event's economic contribution will bring MacArthur park a much-needed economic boost to develop future beautification projects.

Thank you.

Sincerely,



Daniel Morales  
President  
MacArthur Park Advisory Board  
213-220-4938

INFORMATIONAL BOARD REPORT

CITY OF LOS ANGELES  
DEPARTMENT OF RECREATION AND PARKS

April 05, 2017

TO: BOARD OF RECREATION AND PARK COMMISSIONERS

FROM: MICHAEL A. SHULL, General Manager



SUBJECT: VARIOUS COMMUNICATIONS

The following communications addressed to the Board have been received by the Board Office, and the action taken thereon is presented.

| <u>From</u>  | <u>Action Taken</u>   |
|--|---|
| 1) Mayor, appointing Jon Deutsch to the Greek Theater Advisory Committee.  | Referred to General Manager.  |
| 2) Mayor, relative to a proposed Request for Proposals for the Acquisition and Implementation of a Golf Management and Reservation System.   | Noted and Filed.<br>(Report No. 17-023)   |
| 3) Mayor, transmitting Executive Directive No. 19, "Planning and Developing Housing and Transportation".   | Noted and Filed.  |
| 4) Mayor, relative to a proposed Memorandum of Understanding with Westside Pacific Villages for Data Connectivity through DSL Service at the Westchester Senior Citizen Center.    | Referred to staff for further processing.<br>(Report No. 16-188)                        |
| 5) Mayor, relative to a proposed Amendment No. 2 to the Memorandum of Understanding with the Friends of the Observatory for Continuing Partnership regarding Griffith Observatory. | Referred to staff for further processing.<br>(Report No. 17-069)                        |
| 6) City Attorney, relative to a draft ordinance amending Section F of Section 63.44 of the Los Angeles Municipal Code.   | Noted and Filed as acted on at the March 15, 2017 Board Meeting.<br>(Report No. 17-076) |
| 7) City Clerk, relative to funding for maintenance services for Flat Top Park.   | Referred to General Manager.  |

BOARD OF RECREATION AND PARK COMMISSIONERS

Page 2

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|--|---|
| 8) City Clerk, relative to funding to support various services for the Seoul International Park Playground including replacement of the playground equipment / facilities. | Referred to General Manager.                        |
| 9) City Clerk, relative to a lease for the design and build out of the Bundy Triangle.   | Referred to General Manager.                        |
| 10) City Clerk, relative to funding for continued Geographic Information System software maintenance and support from vendor ESRI, Inc. for Fiscal Year 2016-17.           | Referred to General Manager.                        |
| 11) City Clerk, relative to the State of California Department of Housing and Community Development 2016 Housing Related Parks Program grant.                              | Referred to General Manager.<br>(Report No. 17-018) |
| 12) Chief Legislative Analyst, forwarding the Legislative Report for the weeks ending February 24, and March 3, 2017.  | Noted and Filed.                                    |
| 13) Meg Stuppy, relative to donating AED devices for Runyon Canyon Park.   | Referred to General Manager.                        |
| 14) Roman I. Gomez, Chairman, Elysian Valley Riverside Neighborhood Council, two communications relative to Elysian Valley Recreation Center.                              | Referred to General Manager.                        |
| 15) Twenty-four residents, relative to the closure of the gate to Griffith Park on Beachwood Avenue.   | Referred to General Manager.                        |
| 16) Sheldon Berger, two communications relative to an alleged denial of public access to an easement for public recreational purposes.                                     | Noted and Filed.                                    |
| 17) Derrick Allen, sharing his plans for Junior Golf Camps for Summer 2017.  | Noted and Filed.                                    |

This Report was prepared by Paul Liles, Clerk Typist, Commission Office.

MATTERS PENDING

Matters Pending will be carried for a maximum of six months, after which time they will be deemed withdrawn and rescheduled whenever a new staff report is received.

GENERAL MANAGER'S REPORTS:

| <u>ORIGINALLY<br/>PLACED ON<br/>BOARD AGENDA</u> | <u>PLACED ON<br/>MATTERS<br/>PENDING</u> | <u>DEEMED<br/>WITHDRAWN</u> |
|--|--|-----------------------------|
| None   |  |                             |

BIDS TO BE RECEIVED:

None

PROPOSALS TO BE RECEIVED:

4/17/17      CON-G17-002 – Golf Management and Reservation System

QUALIFICATIONS TO BE RECEIVED:

None